



SHIRE OF KOJONUP

Kojonup

AGENDA

Ordinary Council Meeting

21 JUNE 2022

TO: THE SHIRE PRESIDENT AND COUNCILLORS

NOTICE is hereby given that a meeting of the Council will be held in the Council Chambers, Administration Building, 93 Albany Highway, Kojonup on Tuesday, 21 June 2022 commencing at 3:00pm.

I certify that with respect to all advice, information or recommendation provided to the Council in or with this Agenda:

- i. The advice, information or recommendation is given by a person who has the qualifications or experience necessary to give such advice, information or recommendation; and
- ii. Where any advice is directly given by a person who does not have the required qualifications or experience, that person has obtained and taken into account in that person's general advice the advice from an appropriately qualified or experienced person.

GRANT THOMPSON
CHIEF EXECUTIVE OFFICER

17 June 2022

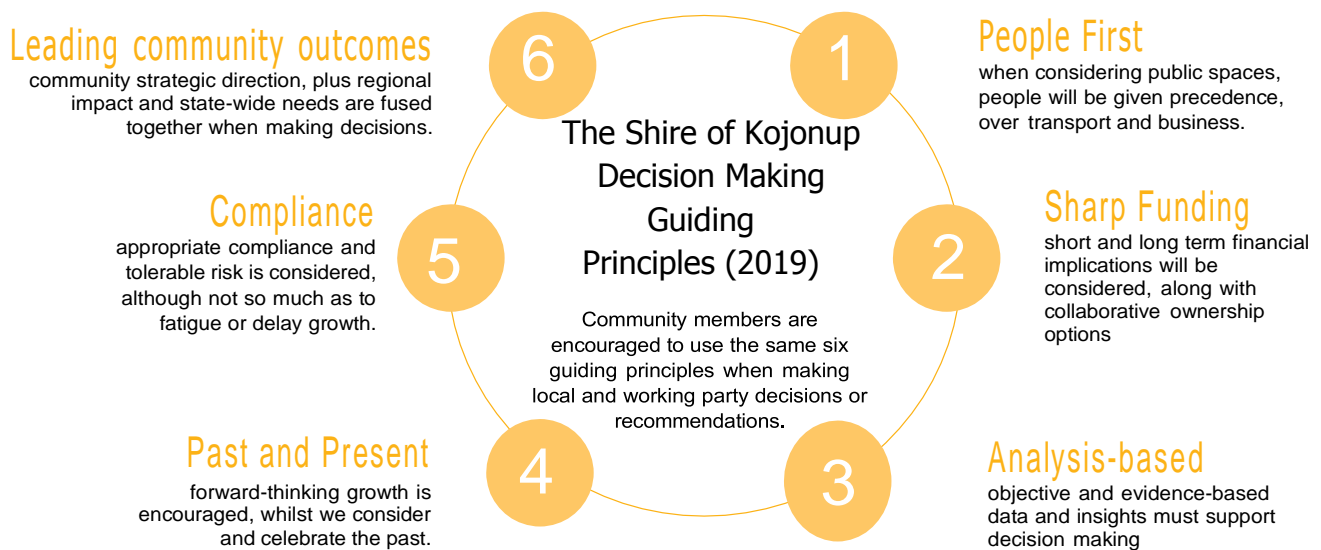
AGENDA FOR THE COUNCIL MEETING TO BE HELD ON 21 JUNE 2022

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The Shire of Kojonup has a set of six guiding principles it uses when making decisions. These principles are checked and enhanced every two years in line with the Strategic Community Plan review schedule.



AGENDA

1 DECLARATION OF OPENING AND ANNOUNCEMENT OF GUESTS

The Shire President shall declare the meeting open at ____ and draw the meeting's attention to the disclaimer below:

Disclaimer

No person should rely on or act on the basis of any advice or information provided by a Member or Officer, or on the content of any discussion occurring, during the course of the meeting.

The Shire of Kojonup expressly disclaims liability for any loss or damage suffered by any person as a result of relying on or acting on the basis of any advice or information provided by a member or officer, or the content of any discussion occurring, during the course of the meeting.

Where an application for an approval, a license or the like is discussed or determined during the meeting, the Shire warns that neither the applicant, nor any other person or body, should rely upon that discussion or determination until written notice of either an approval and the conditions which relate to it, or the refusal of the application has been issued by the Shire.

Acknowledgement of Country – Cr Wieringa

The Shire of Kojonup acknowledges the first nations people of Australia as the Traditional custodians of this land and in particular the Keneang people of the Noongar nation upon whose land we meet.

We pay our respect to their Elders past, present and emerging.

Prayer – Cr Gale

Gracious Father, we acknowledge you as our Maker and Judge. We ask for wisdom for our reigning monarch Queen Elizabeth. Grant to her good health and strength in the executing of her duties.

We pray for all Ministers and Cabinet members of the Australian Federal and State Government. Grant to them wisdom in the welfare of Australia, so that truth and justice is established for all Australians.

Lastly Gracious Father, we pray for ourselves. We ask that you might grant to us the ability to speak with integrity and to work with uncompromising diligence. Grant to us the wisdom to make good decisions, remembering that we are one community. Grant to us the good humour to keep things in perspective in a community that is a diverse population.

We ask that we might always be mindful of the safety and welfare of the people of Kojonup. Grant to all who serve on public committees the ability to listen and work together with mutual respect for one another. Bless us with the personal joy of knowing that we have done our best.

2 **ANNOUNCEMENTS FROM THE PRESIDING MEMBER**

3 **ATTENDANCE**

COUNCILLORS

Cr N Radford

Shire President

Cr P Webb

Deputy Shire President

Cr F Webb

Cr Wieringa

Cr Gale

Cr Singh

Cr R Bilney

Cr A Egerton-Warburton

STAFF

Grant Thompson

Chief Executive Officer

Robert Jehu

Manager Regulatory Services

Jill Watkin

Manager Kodja Place and Tourism Marketing

Judy Stewart

Senior Administration Officer

3.1 **APOLOGIES**

Nil

3.2 **APPROVED LEAVE OF ABSENCE**

4 **DECLARATION OF INTEREST**

5 **PUBLIC QUESTION TIME**

Questions may be submitted using the special email address for Council Meeting Public Question Time being cmpqt@kojonup.wa.gov.au

The Chief Executive Officer will table all correspondence received.

5.1 **RESPONSE TO PREVIOUS PUBLIC QUESTIONS TAKEN ON NOTICE**

Not applicable

5.2 **PUBLIC QUESTION TIME**

6 **CONFIRMATION OF MINUTES**

6.1 **COUNCIL MEETING 17 MAY 2022**

Minutes of the Council Meeting held on 17 May 2022 are at **Attachment 6.1.1.**

OFFICER RECOMMENDATION

That the Minutes of the Council Meeting held on 17 May 2022 be confirmed as a true record.

7 PRESENTATIONS

- 7.1 PETITIONS
- 7.2 PRESENTATIONS
- 7.3 DEPUTATIONS
- 7.4 DELEGATES' REPORTS

8 METHOD OF DEALING WITH AGENDA BUSINESS

9 REPORTS

9.1 KEY PILLAR 1 – ‘PLACE’ REPORTS

9.1.1 HARRISON PLACE AMENITIES UPGRADE – COSTING AND SCOPE CHANGE UPDATE

AUTHOR	Robert Jehu - Manager Regulatory Services
DATE	Friday, 17 June 2022
FILE NO	CP.DAC.3
ATTACHMENT(S)	<p>9.1.1.1 - Original quote supplied by Southwest Civil</p> <p>9.1.1.2 - Amended quote supplied by Southwest Civil</p> <p>9.1.1.3 - Original drawings – marked up</p> <p>9.1.1.4 - Paving quote supplied by Southwest Civil</p> <p>9.1.1.5 - Original architectural drawings showing 1 brick</p> <p>9.1.1.6 - Updated Civil Drawings showing 4 bricks</p>

STRATEGIC/CORPORATE IMPLICATIONS		
“Smart Possibilities – Kojonup 2027+”		“Smart Implementation – Kojonup 2020-2024”
Key Pillar	Community Outcomes	Corporate Actions
1 - Place	1.2 – Be a happy, healthy, connected and inclusive community driven by the provision of high standard sport, recreation and open space facilities and programs.	1.2.3 – Provide community infrastructure that attracts outsourced or privately run facilities and programs.

DECLARATION OF INTEREST

Nil

SUMMARY

The purpose of this report is for Council to receive advice of scope changes resulting in material cost increases for the Harrison Place amenities project.

BACKGROUND

At its 14 July 2021 Ordinary Meeting, Council resolved, in its 2021/2022 annual budget, to build new Harrison Place amenities for an amount of \$627,387.

The original project was segregated into separate work phases utilising different contractors for each phase of the works. The phases were compartmentalised to manage the mutually independent work streams required by different contractors.

The four phases included:

1. Civil Works and foundation brick work
2. Prefabricated toilet block, plumbing and electricals
3. Roof and Mural
4. Landscaping

An architect firm was duly appointed as the project manager. The architects had difficulty sourcing contractors to undertake this project from the outset as can be seen by their Requests for Quotes (RFQ) - please see table below. Southwest Civil was the only organisation to quote on Phase 1 - Civil Works and foundation brick work.

Through the Request for Quotation (RFQ) process, Southwest Civil was the successful respondent and was contracted to undertake Phase 1, inclusive of bricklaying and design. The original quoted amount was \$173,962.30 and was raised via purchase order number 25656.

Attached are the original architectural drawings (Attachment 9.1.1.5) and quote from Southwest Civil (Attachment 9.1.1.1). Southwest Civil's original quote was based on the attached drawings printed on 30 July 2021 and received soon thereafter.

Table 1.0 Initial Request for Quote responses from Contractors - *Phase 1 - Civil Works and foundation brick work.*

Civil Works:	
SW Civil - Darrell Scott, Kojonup	Yes, Please see attached
Kojonup Light Civil	No, too busy
AD Contractors, Albany	No, but send through anyway. We have not received a reply.
Palmer Earthmoving, Albany	No, out of their scope & too busy
Healeys, Mt Barker	No, too far away. Only work in Mt. Barker
Albany Industrial Services	No, too busy

Variations and scope changes from the original quote included:

- 1 The foundations in the updated Engineering Drawings (ED) were twice as wide as in Original Drawings (OD) resulting in additional excavation work.
- 2 The walls in the OD are one brick wide. In effect, the final design and scope provided to Southwest Civil directly by the architects, required a base of four brick construction.
- 3 The walls in the ED are bolstered. The levels to top of foundation in the OD are mostly to -1400 mm. When Southwest Civil took levels on site, many of the walls had to be -1950 mm which meant an additional two extra blocks. The number of blocks required for the change was more than three times the original specification.
- 4 Subsoil drain supplier changed resulting in lower price.
- 5 Original price based on standard cement. Specified materials in ED more expensive.
- 6 Universal Accessible Toilet and Store slabs - no longer required.
- 7 OD had original stairs with concrete slab only, remainder was in timber by another contractor. ED included these in blocks and cement.
- 8 Handrails for stairs in OD were in timber by other contractor. ED included these in metal.
- 9 Line marking slightly different.
- 10 Lower level of paving originally not included in scope of work.
- 11 Concrete was found under the ground that had to be removed and was not in the original engineering report; the site was not a green field site as originally thought.
- 12 Storage shed changes required foundations to be extended to manage the load base.

COMMENT

The alterations to the scope resulted in a material cost increase for Southwest Civil who were required to amend their original quote.

The new updated quote by Southwest Civil is based on the engineering drawings provided by the architect on 3 November 2021. A change to the engineering specifications is evident; the contractor is not liable for material scope changes.

Officers received an updated costing (quote) from Southwest Civil on 31 January 2022. At this time the Shire terminated its relationship with the Project Manager (architect) and took the project management of the job back in house.

The final updated quote provided by Southwest Civil to complete the required work, with scope changes, increased to \$272,962.03 after negotiations with the Shire; a copy of this quote is attached to this item (Attachment 9.1.1.2).

Southwest Civil also provided a quote for an amount of \$29,711.00 for the completion of the paving works associated with additional landscaping which would have been requested in Phase 4 of the project. This is the only quote that the Shire was able to obtain for this task due to limited contractor availability in the district. A copy of this quote is attached to this item (Attachment 9.1.1.4). The total amount expected to be paid to Southwest Civil for the completion of this project will now be \$302,673.03.

Due to the scarcity of contractors, the fact that Southwest Civil had already been contracted and along with time constraints on the project regarding grant acquittals, an operational decision was made that Southwest Civil should continue with the task to complete the project. Southwest Civil has genuinely been the only source of supply for limestone blocks on this project in the past 12 months as can be seen by the RFQ process.

Key Learnings

Ideally, scope and cost changes should have been formally tabled with the Council earlier in the process for decision on fiscal and scope management. Decisions that were made at the onset of this project should have been reviewed on a regular basis for any scope or cost creep. This was not the case. Regular project meetings with the Project Manager should have been scheduled on a regular basis and will be in future projects.

A Project Management Framework needs to be implemented across the Shire for all projects. The Chief Executive Officer will create and implement an effective Project Management structure for all future projects. This is currently in the budget awaiting approval.

Project updates and reporting are now in place for controlling all aspects of projects. Any future jobs or projects that are close to the threshold should be placed out for tender, as per the Shire's procurement policy and regulations, to cater for contingency scope and cost creep.

Project management contracts should have clearer Key Performance Indicators for performance and accountability related to cost and scope creep including Council being informed of all material changes and variances.

CONSULTATION

Chief Executive Officer (CEO)
Council Briefing discussions

STATUTORY REQUIREMENTS

Nil

POLICY IMPLICATIONS

2.1.2 - Purchasing & Creditor Control

A new Framework and procedures for Project Management are required.

FINANCIAL IMPLICATIONS

At this stage, it is forecast that the total cost of the project will be circa \$690,000. While Phase 1 costs have increased due to the scope change, other savings throughout Phases 2, 3 and 4 have been identified for a net cost increase of approximately \$80,000.

Any expenditure outside of the current approved budget will be firmed up prior to, and considered by Council, through the 2022/2023 budget process.

RISK IMPLICATIONS

MANAGEMENT FRAMEWORK			
Risk Profile	Risk Description/Cause	Key Control	Current Action
13 - Supplier and Contract Management	Inadequate contract management practices	Regular monitoring of delivery of contracts	Nil
13 - Supplier and Contract Management	Ineffective monitoring of deliverables	Ongoing reviews of supplier/contractor contract arrangements	Nil
<i>Risk rating – Adequate</i>			
IMPLICATIONS			
An adequate Project Management Framework needs to be implemented to mitigate the risk of future non-compliance.			

ASSET MANAGEMENT IMPLICATIONS

Ideally, the completion of the Harrison Place project should not be impacted.

VOTING REQUIREMENTS

Simple majority

OFFICER RECOMMENDATION

That Council approves the scope changes for Phase 1 of the Harrison Place amenities project, as attached, and considers the associated cost increase of approximately \$80,000 in its 2022/2023 budget process.

9.1.2. KODJA PLACE ROSE MAZE SCHEMATIC DESIGN

AUTHOR	Jill Watkin - Manager The Kodja Place and Tourism Marketing
DATE	Friday, 17 June 2022
FILE NO	CP.DAC.9
ATTACHMENT(S)	9.1.2.1 - Realm Studios - Kodja Place Schematic Design to create new entrance into the Rose Maze 9.1.2.2 - Drainage diagram

STRATEGIC/CORPORATE IMPLICATIONS		
“Smart Possibilities – Kojonup 2027+”		“Smart Implementation – Kojonup 2020 – 2024”
Key Pillar	Community Outcomes	Corporate Actions
1 - Place	1.1 Will maximise our ‘One Community’ programme through specific events, celebration of the built form and enhancement of our environment.	1.1 Develop and grow an annual calendar of events where community and visitors celebrate diversity, history & place. 1.2 Celebrate the significance of cultural, social, and built heritage including local indigenous and multicultural groups. 1.3 Grow The Kodja Place to become an iconic WA attraction.

DECLARATION OF INTEREST

Nil

SUMMARY

The purpose of this report is for Council to consider the initial Kodja Place Rose Maze Schematic Design (Plan) to attract additional visitors into the Rose Maze from both The Kodja Place Precinct and eventually from Apex Park.

BACKGROUND

At a Briefing Session held on 3 May 2022, Councillors discussed that a plan be produced to illustrate the potential entrance changes from The Kodja Place courtyard into the Rose Maze as part of an overarching long term plan to later include an entrance from Apex Park via the Broomehill-Kojonup Road. Councillors requested that any plan produced should maintain the integrity of the existing Rose Maze.

COMMENT

The initial phase to which this Plan refers will open the line of site from The Kodja Place Precinct, gallery and shop, and facilitate the opportunity to hold larger events in the heart of the Rose Maze, attracting more footfall and additional revenue for The Kodja Place Precinct.

This initial Schematic Plan maintains the integrity of the Rose Maze as it currently exists.

CONSULTATION

Various Community Members
Kodja Place Community Fund Inc (KPCF)
Realm Studios
Councillors
Chief Executive Officer

STATUTORY REQUIREMENTS

Nil

POLICY IMPLICATIONS

Nil

FINANCIAL IMPLICATIONS

The initial concept plan (\$3,100), designed by Realm Studios, will be funded from underspent funds in Chart of Account 8364 - Tour Guide Expenses.

The implementation of the design (Attachment 9.1.2.1) is expected to cost approximately \$6,000. KPCF is providing this funding through a combination of volunteer time and expense. If an entrance from the Kojonup-Broomehill Road goes ahead in the future, this will be the Shire of Kojonup's (Shire) responsibility.

Shire officers are looking at grant funding possibilities to cover or contribute to the cost of the final overall plan for the Rose Maze. The future overall plan for the rose maze is envisaged to cost in the vicinity of \$10,000 and will need to be considered in a future budgetary process along with grant co-funding. Other road works in the area and any future grant funding for the Kodja Place Master Plan may assist future development of the Rose Maze.

Volunteers will carry out the necessary renovations and members of the community will be asked to purchase the six (6) trees required with KPCF responsible for funding hard-landscaping.

The creation of the new entrance from The Kodja Place courtyard would provide the opportunity for increased revenue streams by enhancing direct access for events to be held in the heart of the Rose Maze without damaging its overall integrity.

RISK MANAGEMENT IMPLICATIONS

RISK MANAGEMENT FRAMEWORK			
Risk Profile	Risk Description/Cause	Key Control	Current Action
10 - Management of Facilities, Venues and Events	Inadequate staff/volunteer training; Lack of PPE equipment.	Safe Work Practices Volunteer Induction; Provision of PPE	Prior to volunteer work commencing induction to safe work practices; Will provide relevant PPE.
<i>Risk rating – Adequate/Adequate</i>			
IMPLICATIONS			
Identifying future expenses and matters associated with this project prior to its inception (such as event management requirements, ongoing maintenance/other whole of life considerations, and stakeholder consultation) lessens the likelihood of reputational and financial risk associated with not taking these matters into consideration from the beginning.			

ASSET MANAGEMENT IMPLICATIONS

Nil

SOUTHERN LINK VROC (VOLUNTARY REGIONAL ORGANISATION OF COUNCILS) IMPLICATIONS

Nil

VOTING REQUIREMENTS

Simple Majority

OFFICER RECOMMENDATION

That Council approves the Schematic Concept Plan and Design from Realm Studios, as attached, for an additional entrance to the Rose Maze, at The Kodja Place precinct, to enable Kodja Place Community Fund Inc volunteers to complete the works required, at no cost to Council.

9.2 KEY PILLAR 2 – ‘CONNECTED’ REPORTS

9.2.1 CAT LOCAL LAW 2022 ADOPTION

AUTHOR	Stephanie Swain – Senior Ranger
DATE	Tuesday, 1 June 2022
FILE NO	LE. LCL.1
ATTACHMENT(S)	<p>9.2.1.1 - Proposed Cat Local Law 2022</p> <p>9.2.1.2 - s. 79 - Cat Act 2011</p> <p>9.2.1.3 - Email correspondence from Steven Elliott, Senior Legislation Officer, Department of Local Government, Sport and Cultural Industries (Department)</p> <p>9.2.1.4 - Joint Standing Committee on Delegated Legislation Report (JSCDL) - Cat Local Law review for Shire of Dardanup</p> <p>9.2.1.5 - Email correspondence from Steven Elliott, Senior Legislation Officer, Department, outlining advice on changes being unlikely to be significant</p>

STRATEGIC/CORPORATE IMPLICATIONS		
“Smart Possibilities – Kojonup 2027+”		“Smart Implementation – Kojonup 2020-2024”
Key Pillar	Community Outcomes	Corporate Actions
2 - Connected	2.3 – Be providing for a safe and secure environment by working with State and Federal authorities.	2.3.2 – Support appropriate initiatives to improve safety and reduce crime (N2.4.2).

DECLARATION OF INTEREST

Nil

SUMMARY

The purpose of this report is to consider the adoption of the Shire of Kojonup Cat Local Law 2022 (Local Law).

BACKGROUND

At its 14 December 2021 Ordinary Meeting, Council resolved to propose the Cat Local Law 2022:

‘That the following local laws be endorsed for proposal, as presented, and advertised for public comment in accordance with s. 3.12 (3) of the Local Government Act 1995 prior to them being brought back to Council for consideration of submissions or amendments, if any, and subsequent adoption:

- *Parking Local Law 2022*

Purpose: To enable better parking practices and to remedy parking anomalies in the Shire of Kojonup.

Effect: Effective and consistent parking practices within the Shire of Kojonup.

- *Cat Local Law 2022*

Purpose: To address the impounding of cats, requirements and limitations on the keeping of cats, and the requirements of approved kennel establishments within the Shire of Kojonup.

Effect: To provide for consistent and effective management of the cat population within the Shire of Kojonup.'

COMMENT

The required advertising for public comment has been undertaken. Nil responses were received from the community. As required, the proposed Local Law was also presented to the Department for comment. On 9 May 2022, the Department responded and provided feedback on areas that required amendment, as follows:

1. *Definition of nuisance*

The Cat Act 2011 currently uses the term “nuisance”. As the term is not formally defined, the term is given to have the meaning given to it in common law.

While the Act allows local governments to make local laws about cats causing nuisance, it is uncertain whether the Act allows local governments to redefine “nuisance” to have a meaning other than what it currently has for the purposes of the Act.

The definition of nuisance in the Shire’s local law appears to be broader than the normal meaning of nuisance and seems to include things that would not necessarily constitute a nuisance in common law (e.g. urination on private property, or behaving “contrary to the interests of the community”).

It is suggested that the definition for nuisance be deleted or changed to “has the same meaning as it has in the Act”.

2. *Banning cats from public areas*

The Parliament’s Delegated Legislation Committee has formed the view that while the Cat Act permits local laws that prohibit cats absolutely from specified areas, it does not contemplate local laws that:

- *ban cats from all public areas;*
- *place conditions on when a cat may be permitted in a public area; or*
- *attempts to restrict all cats in the district to their owner’s premises, either explicitly or by creating restrictions which roaming cats are unlikely to comply with.*

A copy of the Committee’s reasons are attached to this email.

It is suggested that clause 3.8 and clause 5.1 be deleted along with the corresponding modified penalties. If it they are retained, it is likely the Committee will request an undertaking that the clause be removed.

3. *Cat prohibited areas*

The Act allows local laws to specify an area where cats are prohibited absolutely. In the past, local laws have generally implemented this power by listing specific lots or reserves.

Clause 5.2 appears to prohibit cats from all nature reserves and all enclosed public spaces. It is possible that the Committee may view this as too broad and an attempt to ban cats from public areas.

4. *Clause 3.4 – Permit not required in certain cases*

Clause 3.3(d) provides that a permit is needed to breed cats.

Clause 3.4 provides that a permit under clause 3.3 is not required in certain situations, such as when there are two or less cats on the premises.

When read together, these clauses may confuse cat breeders and lead to them believe that in certain situations, they won't require approval to breed cats. This would be incorrect, since section 37 of the Cat Act provides that all cat breeders require local government approval without exception.

The Shire may wish to reword these clauses to avoid confusion. Alternatively, if clause 3.4 was not intended to apply to clause 3.3(d), the Shire may wish to revise the clause to ensure the wording matches the Shire's intentions.'

The Department also provided the Shire with a report that was produced by the JSCDL. The JSCDL had conducted a review on a Cat Local Law proposed by the Shire of Dardanup, whom also used the same local law the Shire of Kojonup had proposed. The JSCDL report outlined a lot of the above recommendations made by the Department and is attached to this item for information (Attachment 9.2.1.4).

All the amendments suggested by the Department have been undertaken. Further correspondence received by the Department, when questioned if the proposed Local Law required re-advertising due to the changes, gained the following response:

'Ultimately, the Parliament's delegated legislation committee determines whether a local law has become "significantly different" to what was proposed.

As a general guide, the Department follows the rules that:

- The correction of typos/errors are unlikely to be significant;*
- The removal of potentially invalid clauses is unlikely to be significant.*
- Any change which impacts legal rights, responsibilities or liabilities will very likely be significant.*

The majority of the Department's comments related to the removal of potentially invalid clauses and minor drafting issues. As such, my view is that they are unlikely to be significant. However, as mentioned this will be for the Committee to decide.'

A copy of this email has been attached (Attachment 9.2.1.5).

CONSULTATION

Steven Elliott – Senior Legislation Officer - DLGSCI

STATUTORY REQUIREMENTS

The Shire has the ability to create a local law under s.3.5 and s.3.10 of the *Local Government Act 1995* and to create a Cat Local Law under s.79 of the *Cat Act 2011* (Attachment 9.2.1.2).

POLICY IMPLICATIONS

Nil

FINANCIAL IMPLICATIONS

Advertising costs are associated with the advertising of local laws and their gazettal for which there is provision within the budget at Chart of Account 1922 - Advertising.

RISK MANAGEMENT IMPLICATIONS			
Risk Profile	Risk Description/Cause	Key Control	Current Action
3. Failure to Fulfil Compliance Requirements (Statutory/Regulatory)	Inadequate compliance framework	Nil; however, governance calendar reminder system is in place	Nil
<i>Risk rating – Adequate</i>			
IMPLICATIONS			
Maximising compliance with legislation mitigates risk of damage to image and reputation as well as penalties associated with non-compliance; compliance demonstrates that best practice methodology is in place.			

ASSET MANAGEMENT IMPLICATIONS

Nil

VOTING REQUIREMENTS

Absolute Majority

OFFICER RECOMMENDATION

That the Shire of Kojonup Cat Local Law 2022, inclusive of the Department of Local Government, Sport and Cultural Industries' suggested amendments (as attached), be adopted:

Purpose: To address the impounding of cats, requirements and limitations on the keeping of cats, the requirements of approved kennel establishments and the establishment of cat prohibited areas within the Shire of Kojonup.

Effect: To provide for consistent and effective management of the cat population within the Shire of Kojonup.

9.2.2 PARKING LOCAL LAW 2022 ADOPTION

AUTHOR	Stephanie Swain – Senior Ranger
DATE	Friday, 27 May 2022
FILE NO	LE. LCL.1
ATTACHMENT(S)	<p>9.2.2.1 - Proposed Parking Local Law 2022</p> <p>9.2.2.2 - s. 3.5 and s. 3.10 - <i>Local Government Act 1995</i></p> <p>9.2.2.3 - Email correspondence from Steven Elliott, Senior Legislation Officer, Department of Local Government, Sport and Cultural Industries (Department)</p> <p>9.2.2.4 - Email correspondence from Steven Elliott, Senior Legislation Officer, Department, outlining advice on changes being unlikely to be significant</p>

STRATEGIC/CORPORATE IMPLICATIONS		
“Smart Possibilities – Kojonup 2027+”		“Smart Implementation – Kojonup 2020-2024”
Key Pillar	Community Outcomes	Corporate Actions
2 - Connected	2.3 – Be providing for a safe and secure environment by working with State and Federal authorities.	2.3.2 – Support appropriate initiatives to improve safety and reduce crime (N2.4.2).

DECLARATION OF INTEREST

Nil

SUMMARY

The purpose of this report is to consider the adoption of the Shire of Kojonup Parking Local Law 2022 (Local Law).

BACKGROUND

At its 14 December 2021 Ordinary Meeting, Council resolved to propose the Shire of Kojonup Parking Local Law 2022:

‘That the following local laws be endorsed for proposal, as presented, and advertised for public comment in accordance with s. 3.12 (3) of the Local Government Act 1995 prior to them being brought back to Council for consideration of submissions or amendments, if any, and subsequent adoption:

- *Parking Local Law 2022*

Purpose: To enable better parking practices and to remedy parking anomalies in the Shire of Kojonup.

Effect: Effective and consistent parking practices within the Shire of Kojonup.

- *Cat Local Law 2022*

Purpose: To address the impounding of cats, requirements and limitations on the keeping of cats, and the requirements of approved kennel establishments within the Shire of Kojonup.

Effect: To provide for consistent and effective management of the cat population within the Shire of Kojonup.'

COMMENT

The required advertising for public comment has been undertaken. Nil responses were received from the community. As required, the proposed Local Law was also presented to the Department for comment. On 9 May, 2022, the Department responded and provided feedback on areas that required amendment, as follows:

1. *Definition of taxi*

The Department is aware that recent amendments have occurred to taxi legislation.

Several definitions in the Shire's local law refer to taxi legislation and the Shire should ensure that these definitions are still suitable for the Shire's purposes.

2. *Clause 2.1 – Signage*

In previous years, the Delegated Legislation Committee has expressed concerns about clauses which allow a local government to change parking rules by resolution.

The Committee's primary concern is that rules might be changed without adequate signage, resulting in the public breaching parking rules they were not aware of.

While clause 2.1 of the Shire's local law states that the Shire can regulate an area by signs, the word "may" would indicate the use of signage is discretionary. It is suggested that clause 2.1 include an additional subclause as follows:

(2) Where the local government makes a resolution under this clause, it shall erect signs to give effect to the determination or resolution.

While the Shire has a similar subclause in clause 5.2, this only applies to timed parking rather than the local law in general. As such, it might be insufficient to alleviate the committee's concerns.

3. *Infringement notices – Clause 7.5*

Recently, the Government made amendments to the infringement notices prescribed in the Regulations to ensure the wording was consistent with the current version of the Fines, Penalties and Infringement Notices Enforcement Act 1994.

It appears that the template form included in the local law's schedule is using an old form of wording. It is suggested that the wording be updated. Alternatively, clause 7.5 could be amended so it only refers to the template in the Regulations.

4. *Clause 4.5 – Event parking*

Clause 4.5 provides that the local government can impose special parking rules in relation to special events.

The Committee has expressed concerns regarding clauses as it could potentially be used to change parking rules without direct authorization of council.

It is suggested that the phrase “Subject to clause 2.1” be added to the beginning of clause 4.5(1) so that it is clear that the council still has to make resolutions in relation to this power.

All the amendments suggested by the Department have been undertaken. Further correspondence received by the Department when questioned if the proposed Local Law required re-advertising due to the changes, gained the following response:

‘Ultimately, the Parliament’s delegated legislation committee determines whether a local law has become “significantly different” to what was proposed.

As a general guide, the Department follows the rules that:

- The correction of typos/errors are unlikely to be significant;*
- The removal of potentially invalid clauses is unlikely to be significant.*
- Any change which impacts legal rights, responsibilities or liabilities will very likely be significant.*

The majority of the Department’s comments related to the removal of potentially invalid clauses and minor drafting issues. As such, my view is that they are unlikely to be significant. However, as mentioned this will be for the Committee to decide.’

A copy of the above mentioned email has been attached (Attachment 9.2.2.4).

CONSULTATION

Steven Elliott – Senior Legislation Officer - Department of Local Government, Sport and Cultural Industries

STATUTORY REQUIREMENTS

The Shire has the ability to create a local law under s.3.5 and s.3.10 of the *Local Government Act 1995*.

POLICY IMPLICATIONS

Nil

FINANCIAL IMPLICATIONS

Advertising costs are associated with the advertising of local laws and their gazettal for which there is provision within the budget at Chart of Account 1922 - Advertising.

RISK MANAGEMENT IMPLICATIONS

RISK MANAGEMENT FRAMEWORK			
Risk Profile	Risk Description/Cause	Key Control	Current Action
3. Failure to Fulfil Compliance Requirements (Statutory/Regulatory)	Inadequate compliance framework	Nil; however, governance calendar reminder system is in place	Nil
<i>Risk rating – Adequate</i>			
IMPLICATIONS			
Maximising compliance with legislation mitigates risk of damage to image and reputation as well as penalties associated with non-compliance; compliance demonstrates that best practice methodology is in place.			

ASSET MANAGEMENT IMPLICATIONS

Nil

VOTING REQUIREMENTS

Absolute Majority

OFFICER RECOMMENDATION

That the Shire of Kojonup Parking Local Law 2022, inclusive of the Department of Local Government, Sport and Cultural Industries suggested amendments (as attached), be adopted:

Purpose: To enable better parking practices and to remedy parking anomalies in the Shire of Kojonup.

Effect: Effective and consistent parking practices within the Shire of Kojonup.

9.2.3 BUSH FIRE COMMUNICATIONS

AUTHOR	Grant Thompson – Chief Executive Officer
DATE	Thursday, 16 June 2022
FILE NO	ES.CIR.2/ES.COM.1
ATTACHMENT(S)	<p>9.2.3.1 - Email - outcome from meeting with DFES March 2022</p> <p>9.2.3.2 - Consulting Great Southern – Shire of Kojonup Communications Tower Study (V1.6) August 2021 (Kojonup Tower Study)</p> <p>9.2.3.3 - Radio Shadow Map – Current Samson Road Site</p> <p>9.2.3.4 - Radio Shadow Map – Jingalup/Balgarp Road site</p> <p>9.2.3.5 - DFES Internal Memorandum - Kojonup WAERN Coverage Review 2020</p>

STRATEGIC/CORPORATE IMPLICATIONS		
“Smart Possibilities – Kojonup 2027+”		“Smart Implementation – Kojonup 2020-2024”
Key Pillar	Community Outcomes	Corporate Actions
2 - Connected	2.3 – Be providing for a safe and secure environment by working with State and Federal authorities.	2.3.1 - Maximise community safety through safe urban design and advocate for enhanced emergency service provisions.
5 - Digital	5.4 – Have used technology to become a smart, safe, collaborative and informed region	<p>5.4.1 - Enable and advocate for public access to National Broadband Network for all residents.</p> <p>5.4.6 - Technology provisions to ensure all residents have instant access to innovative health provisions.</p>

DECLARATION OF INTEREST

Nil

SUMMARY

For Council to consider and receive the Kojonup Tower Study previously commissioned by Council and, in light of Department of Fire and Emergency Services (DFES) declining a co-funding arrangement, agree a pathway to progress the construction of a new bushfire radio communications tower.

BACKGROUND

Council, at its 5 November 2019 Special Meeting, resolved as follows:

“That Council defer a decision on the Communications Tower replacement until the CEO has undertaken the following actions:

1. *Ascertain DFES Capital funding criteria in respect of the Local Government Grant Scheme (LGGS) for the construction of a new Communications Tower which has the ability to accommodate the Shire of Kojonup’s Radio Communications Network including but not limited to:*

- a) *The Shire's Mid-Band radio network;*
- b) *The WA Emergency Radio Network;*
- c) *The Shire's Works and Services department radio network;*
- d) *CB radio;*
- e) *Community FM Radio; and*
- f) *Internet;*
2. *Cost to erect a new Communications Tower and associated radio network at the Jingalup Site situated at Jingalup/Balgarup Road given the improved coverage achieved from Shadow Testing undertaken by DFES Communications;*
3. *Land tenure requirements given Jingalup site is currently a road reserve;*
4. *New tower design considerations such as height, structural integrity especially if utilising the tower on offer from WAPOL;*
5. *Costs to relocate the Muradup Shed which permits all weather protection for new batteries and installation of new solar panels to the Jingalup site;*
6. *Costs for security fencing, improved road access to the new tower and costs of shifting/replacing the WAERN system or installation of new aerials to the Jingalup site;*
7. *Costs of dismantling and/or selling the Samson Road Tower and rehabilitating the site;*
8. *Advice to be sourced from DFES Communications as required;*
9. *Lodge an application seeking LGGS Capital Funding based on the above information; and*
10. *Council give due consideration to borrowing the appropriate funds in order for the new Jingalup Tower to be operational by Mid-2020."*

Note: "Reason for change – Shadow casting trials had indicated Jingalup as a better location for a Communications Tower and bearing this in mind what funding assistance may be available from DFES towards capital works required to erect a new tower at this new location."

At a previous Bush Fire Advisory Committee (BFAC) meeting held 15 October 2019, the following recommendation was made:

'that it be recommended to Council that Council urgently commit to building a new communications tower to the maximum height possible on the current midband site, pending an agreement with DFES to move the WAERN repeater to the new tower.'

The radio shadow maps are included as attachments 9.2.4.3 and 9.2.4.4.

Other previous motions of relevance to this issue are as follows:

At its Ordinary Meeting held on 21 October 2014, the Council resolved:

'that Kojonup Shire retain the mid band channel 41 radios for bush fire use as high band do not provide total coverage of the Shire on bad day.'

At its Ordinary Meeting held on 21 February 2017, the Council resolved:

‘that the attached unconfirmed minutes for the Kojonup Bush Fire Advisory Committee meeting held 13 February 2017 be received and recommendations requiring Council approval as follows be approved by Council:

BUSHFIRE ADVISORY COMMITTEE DECISION 3/17

That the Bushfire Advisory Committee recommends that the Shire of Kojonup establishes a Technical Work Group consisting of the Presiding Member – Bushfire Advisory Committee, Chief Bushfire Control Officer, Manager Corporate Services, Building Maintenance Coordinator, Digby Stretch and Cr Ned Radford to prepare and present a formal report addressing the following terms of reference:

- 1. Assess the current and future communications requirements for fire coverage of the Shire.*
- 2. The communication tower should be so sited that the land the tower stands on is either owned or controlled by the Shire Council.*
- 3. That unrestricted access to the tower must be available at all times. This is necessary for maintenance purposes and for defence of the Tower in a wild fire.*
- 4. The Communications Tower must be a stand-alone system. This may mean a combination of battery/solar/backup generator. It is an advantage in general usage to be connected to the power grid, however in a wildfire it is usual for the power grid to become inoperative and cannot be relied upon. Therefore, a stand-alone system is considered an imperative.*
- 5. The tower must be capable of carrying different types of antennae that may be required to operate simultaneously: e.g., The Bushfire Network, Shire Network and possibly Telstra or other users.*
- 6. The type of radio, the frequency bands allocated and any alternative means of communications should all be examined. The expectation is; “that as effective a communication system as can be afforded will be in place for the 2017/2018 fire season”.*

COMMENT

Council is aware that staff have been researching the construction and location for the installation of a new bush fire communication tower for some years now.

Council has previously deferred decisions to invest in a new tower based on seeking further information and verification of the tower communications “shadow” as well as trying to secure funding from DFES to co-fund the construction of a new tower.

Radio communications is old but reliable technology that, when associated with managing an emergency in the Shire of Kojonup (Shire), is a viable investment based on it being an open communication line with all Volunteers and Bush Fire Brigades in the Shire.

Shire officers met with DFES on 17 March 2022 requesting co-funding of the tower. The response to this request is attached for your information (Attachment 9.2.4.1).

In its response to the Shire’s request for co-funding, the DFES radio communications team claim they have conducted extensive analysis and service improvement works to the WAERN network during the project and more recently in 2019 and 2020.

The Shire's proposal and request for financial assistance to address the aging tower problem by transferring services to a new tower was rejected by DFES.

DFES confirmed it will provide the cost of relocating WAERN (Western Australian Emergency Radio Network) 234 infrastructure to the new tower but, due to the tower primarily hosting the Shire's mid-band radio networks, Community FM Radio and internet services, DFES will not allocate funds to the construction of a new tower.

DFES stated that, *"under the provisions of the Emergency Services and Bushfires Acts, DFES can only expend Emergency Services Levy funds relating to the provision of prescribed emergency services, and accordingly, the DFES Commissioner has no authority to allocate funds for the new Tower."*

The Shire will work with DFES, given the Work Health and Safety legislative requirements that have now taken effect, to create a clear operational model and ensure our teams are properly trained so they understand how to communicate at all times regardless of the network.

DFES is committed to the WAERN network and new technology that they are researching.

Effective radio communications capability in emergency response times at a local level is a critical community asset. Clearly, the combination of technology and different radio solutions as well as new technology coming online, will enhance our response to emergencies and create a safety net for the Shire.

There have been numerous requests to "get on with building a new tower" from the community and Brigade volunteers.

There are issues that still need to be considered with regard to the construction of a new tower for bush fire radio communications in the Shire of Kojonup as outlined in the Consulting Great Southern (CGS) study attached.

They mainly include:

- Impact on communications coverage. Will new black spots be created by choosing a new site?
- Access and perpetuity of private land (to be negotiated).

According to the Kojonup Tower Study by CGS (attachment 9.2.4.2) there are three options the Council has to consider to progress this matter:

Option 1 – Co-locate

Co-locate to an existing structure such as the WAPOL (Western Australian Police) tower in town where DFES has the high band repeater installed, for a budgetary spend of circa \$50,000 plus an annual rent circa \$3,000.

Preliminary investigation with WAPOL indicates that the Shire's current needs could be met through co-location of the Samson Road radios onto this structure where the DFES WAERN is already located.

This is a low capital option but is not recommended due to the Shire not having control over access to the tower and the site, and additional hardware could not be utilised if required.

Furthermore, CGS viewed the tower in question: *“We observe that it is incomplete and would not be suitable for the needs of the Shire. 4 sections are on site and it appears other sections have been removed”*.

NBN has been consulted and to date no solution is forthcoming regarding co-location access to their infrastructure; therefore, this is not an option in the short term.

Option 2 – Construct a New Tower on the Existing Site

According to the attached study from Consulting Great Southern, the Samson Road structure is overloaded for the Shire’s current needs and is not recommended for refurbishment.

Accepting and receiving the Kojonup Tower Study means that the “Do nothing” and “Refurbishment” options are closed and the Shire needs to consider other options evaluating co-location and new tower build.

Previous Bush Fire Advisory Committee recommendations state that Council commit to building a new communications tower to the maximum height possible on the current midband site, pending an agreement with DFES to move the WAERN repeater to the new tower.

Option 2 is, therefore, not recommended at this time as there are too many issues with the current site and infrastructure. The Samson Road tower does not meet the applicable standard for climbing and is not suitable for refurbishment.

Option 3 – Build new Tower at New Site

Construct a new tower on a green field site, yet to be determined, which will house both the WAERN and the Mid-Band radio network infrastructure.

Officers will use the current Kojonup Tower Report to design and cost a ‘shovel ready’ plan for construction of the tower as soon as practicable.

Using the information on shadow mapping, identify the best site within the Shire to locate this infrastructure for full coverage of the Shire of Kojonup and negotiate access in perpetuity.

The construction of a new tower could total between \$350,000 and \$500,000; it is currently difficult to establish the exact costs at this time without a fully designed tower.

It is recommended that Council pursues Option 3 with further clarity to be given on outstanding points related to coverage risk and tower design and costings.

This option will provide confidence that the placement and operation of communications equipment is in the best interests of the residents within the Shire of Kojonup and surrounding Shires.

CONSULTATION

Kojonup Bush Fire Advisory Committee

DFES Staff:

- Richard Burnell, Executive Director Corporate Services, DFES
- Wayne Green, Superintendent Great Southern, DFES

NBN

Mark Toohey - Consulting Great Southern

Chief Executive Officer

Manager Regulatory Services

STATUTORY REQUIREMENTS

Nil

POLICY IMPLICATIONS

Nil

FINANCIAL IMPLICATIONS

The Shire of Kojonup currently has a cash backed reserve account to be utilised for this project.

The construction of a new tower could total between \$350,000 and \$500,000; it is currently difficult to establish the exact costs at this time without a fully designed option.

Any additional gap funding will require a loan from the Western Australian Treasury Corporation.

RISK MANAGEMENT IMPLICATIONS

RISK MANAGEMENT FRAMEWORK			
Risk Profile	Risk Description/Cause	Key Control	Current Action
1 - Asset Sustainability Practices	Inadequate design (not fit for purpose) Outputs not meeting expectations;	Asset Replacement Schedule Asset Register	N/A
6 - Engagement Practices	Infrastructure Projects	Advisory committees/groups	N/A
8 - Errors, Omissions & Delays	Incorrect planning, development, building, community safety and Emergency Management advice	Policies and procedures	N/A

11 – IT & Communications	Failures or disruptions caused by hardware, software or networks	Performance Monitoring	N/A
<i>Risk Rating: Adequate</i>			
IMPLICATIONS			
The risk of investing in technology that could be made redundant over a short asset life time has negative implications both with the cost of finance related to the return on asset and the balance sheet as well as the risk to quality of communications.			

ASSET MANAGEMENT IMPLICATIONS

The current communications tower is included in our Asset Register.

SOUTHERN LINK VROC (VOLUNTARY REGIONAL ORGANISATION OF COUNCILS) IMPLICATIONS

Nil

VOTING REQUIREMENTS

Simple majority

OFFICER RECOMMENDATION

That Council :

1. receives the report from Mark Toohey, Consulting Great Southern (CGS), titled 'Shire of Kojonup Communications Tower Study – (V1.6)' ;
2. commits to self-funding and building a new communications tower to the maximum height possible on an appropriate new mid-band site yet to be determined;
3. accepts the CGS recommendation that the Shire should source its own Radio Frequency coverage data if contemplating a material capital spend;
4. authorises the Chief Executive Officer (CEO) to engage an independent consultant to carry out a comprehensive investigation to verify the best site option within the Shire to locate new communications infrastructure enabling full coverage of the Shire of Kojonup and eliminating the risk of black spots; and
5. authorises the CEO to engage the appropriate expertise and consultants to plan, design and cost a new communications tower build and table the design and costings at a future Council meeting for further consideration on tender and financing options.

9.2.4 WESTERN AUSTRALIAN LOCAL GOVERNMENT ASSOCIATION (WALGA) -
ARRANGEMENTS FOR MANAGEMENT OF VOLUNTEER BUSH FIRE BRIGADES: PROPOSED
ADVOCACY POSITION

AUTHOR	Grant Thompson CEO
DATE	Thursday, 16 June 2022
FILE NO	ES.CIR.2
ATTACHMENT(S)	<p>9.2.4.1 - WALGA INFOPAGE: Proposed Advocacy Position on Arrangements for Management of Volunteer Bushfire Brigades 20 May 2022</p> <p>9.2.4.2 - WALGA: Arrangements for Management of Volunteer Bush Fire Brigades – Proposed Advocacy Position May 2022</p>

STRATEGIC/CORPORATE IMPLICATIONS		
“Smart Possibilities – Kojonup 2027+”		“Smart Implementation – Kojonup 2020-2024”
Key Pillar	Community Outcomes	Corporate Actions
2 - Connected	2.3 – Be providing for a safe and secure environment by working with State and Federal authorities.	2.3.1 - Maximise community safety through safe urban design and advocate for enhanced emergency service provisions.

DECLARATION OF INTEREST

Nil

SUMMARY

Council to consider and formalise a response on the Proposed Advocacy Position on Arrangements for Management of Volunteer Bush Fire Brigades (BFBs), as proposed by WALGA.

BACKGROUND

Western Australian Local Governments have extensive roles and responsibilities embedded in the State Emergency Management Framework across the emergency management spectrum of prevention, preparedness, response, and recovery.

Under the *Bush Fires Act 1954*, Local Governments have responsibility for bush fires and the management of volunteer Bush Fire Brigades (BFBs). 111 Local Governments manage 563 BFBs involving approximately 20,000 volunteers.

The Fire and Emergency Services Authority (now the Department of Fire and Emergency Services [DFES]) was established in 1999 for the purpose of improving coordination of Western Australia’s (WA) emergency services, replacing the Fire Brigades and Bush Fires Boards. DFES provides strategic leadership for emergency services across WA. DFES manages the career fire and rescue service, as well as a number of volunteer emergency services: Volunteer Fire and Emergency Services (VFES); Volunteer Fire and Rescue Service (VFRS); State Emergency Services (SES); and Marine Rescue Western Australia.

Around Australia:

- WA is the only State in Australia in which Local Governments manage bush fire volunteers (pursuant to the *Bush Fire Act 1954*).
- In New South Wales, the NSW Rural Fire Service, which makes up the world's largest firefighting volunteer services, is managed by the NSW Government.
- Similarly, the Victorian Government manages the Country Fire Authority which manages regional fire services in Victoria.
- In South Australia, the *Fire and Emergency Services Act 2005 (SA)* provides for the South Australian Country Fire Service (SACFS) being established as a body corporate, currently managing 14,000 volunteers. The SACFS is responsible to the Minister for Emergency Services.
- In Queensland, the *Fire and Emergency Services Act 1990 (Qld)* provides for the establishment of rural fire brigades, with the Commissioner responsible for the efficiency of rural fire brigades.
- The Tasmanian Fire Service sits under the State Fire Commission, established under the *Fire Service Act 1979*, with more than 200 fire brigades across Tasmania, 350 career firefighters and 5000 volunteers.
- The ACT Rural Fire Service sits under the ACT Emergency Services Agency and is responsible for all bush and grass fires in rural ACT areas, through 450 volunteers in eight brigades.
- Bushfires NT is a division of the Department of Environment, Parks and Water Security, which is responsible for administration of the *Bushfires Management Act 2016*. The Minister appoints members of the Bushfires Council and regional bush fires committees.

Current Arrangements in WA:

In Western Australia 111 Local Governments manage 563 BFBs involving approximately 20,000 volunteers. The Bush Fire Service is the largest volunteer emergency service by a significant margin:

- Bush Fire Service: 19,639 volunteers
- Fire and Rescue Service: 2,486 volunteers
- State Emergency Services: 2001 volunteers
- Volunteer Fire and Emergency Services: 926 volunteers
- Emergency Services Cadet Corps: 2,261 volunteers
- Marine Rescue Service: 1,559 volunteers.
- The number of BFBs managed by Local Governments varies from one up to 20. For example, the Shire of Cranbrook, which has a population of 1000 people, annual revenue of \$8 million and 29 employees, manages 11 BFBs. The City of Mandurah, population 88,000, annual revenue of \$116 million and 678 employees, manages one BFB.

DFES currently manages a number of BFBs in its own right. This includes seven bushfire brigades within the Kimberley and seven bushfire brigades within the Pilbara regions. Under this arrangement, Local Governments maintain responsibility for administering the *Bush Fires Act 1954* and carry out activities such as inspecting fire breaks and issuing burning permits.

In 2021 WALGA undertook a comprehensive Local Government Emergency Management Survey to ascertain the sector's sentiment with respect to their emergency management

responsibilities. It is important to read the survey results (104 local governments responded) and realise support for volunteer BFBs is not consistent across Local Governments in WA.

As part of the survey, Local Governments were asked about their level of satisfaction with current arrangements for managing BFBs. 92 Local Governments (69 of which manage BFBs) provided the following feedback:

- 93% were not wholly satisfied with the current arrangements for the management of BFBs; and
- 51% expressed that their Local Government does not support the requirements for Local Governments to manage BFBs.

COMMENT

The State Government is currently drafting the Consolidated Emergency Services Act (CES Act) which consolidates the *Fire Brigades Act 1942*, *Bush Fires Act 1954* and *Fire and Emergency Services Act 1998* into a single piece of legislation, anticipated to be released as a Green Bill for consultation in early 2023.

WALGA is forming an advocacy position on the creation of the CES Act and, in particular, the management of BFBs and has requested that each local government provide input by way of a formal motion supporting its position.

The development of the CES Act represents a timely opportunity for the Shire of Kojonup to express its position on the management of volunteer BFB's.

Responses to the proposed Advocacy Position Paper are requested by 8 July 2022 and sector feedback will inform the WALGA State Council's final position (in September 2022) and guide WALGA in its engagement with the State Government on this issue.

Volunteer Bush Fire Service Culture in Kojonup:

Kojonup BFBs operate independently and in a self-sufficient manner, which the Shire supports; this assists in creating community resilience.

Kojonup has historically had a significant interest in volunteering and BFBs; this is reflected in the strength of the BFBs and the number of volunteers. This stability has been threatened recently with changes to Work Health and Safety legislation and the COVID-19 pandemic public health mandates stipulated by the State Government. The introduction of the *Work Health and Safety Act 2020* has highlighted Local Government and Responsible Officer liabilities in managing volunteer BFBs.

It is essential that the integrity of the Bush Fire Service is maintained, whatever the arrangements for the management of BFBs evolves into.

Options for future management of BFBs:

WALGA has offered four options for the future management of BFBs:

1. **Status quo** - continue with the current arrangements for management of BFBs whereby the majority are managed by Local Government and transfer arrangements are negotiated on an ad hoc basis between DFES and Local Governments (or their BFBs).

2. **Improvements** - continue with the current arrangements for Local Government management of BFBs with additional support provided by the State Government with respect to increased funding and better access to training resources and other support.
3. **Hybrid Model** - Local Government continues to manage BFBs where they have the capacity, capability and resources to do so; however, where they do not have the capacity, capability and resources, responsibility for management of BFBs is transferred to DFES.
4. **Transfer** - Responsibility for management of all BFBs is transferred to the State Government, consistent with the arrangements in other States and Territories.

Proposed Position

Based on the feedback received from Local Governments in the WALGA Emergency Management Survey 2021 and other considerations, WALGA is leaning toward supporting a hybrid model for the management of BFBs.

A hybrid model allows the continued management of BFBs by those Local Governments with capacity, capability and resources to do so, while providing a framework for the transfer of the management of BFBs to the State Government where a Local Government cannot/does not wish to manage emergency services.

This position should not materially affect the manner in which the Shire of Kojonup currently operates its BFBs and, if implemented, may increase the resources to manage more effectively. However, it does open up the option for a framework to be developed for DFES to transition and manage emergency services and BFBs in regional Shires.

WALGA is also proposing that Local Governments with responsibility for management of BFBs require additional support and resourcing which should be provided by the State Government, including:

- development of a suite of guidelines and resources to assist Local Governments in their management of BFBs, particularly with respect to the discharge of obligations under the *Work Health and Safety Act 2020*;
- expansion of the Community Emergency Services Manager Program (Program) so that every Local Government with responsibility for managing BFBs has access to the Program if they wish to participate;
- universal access to DFES training for BFBs; and
- development of mandatory and minimum training requirements including recognition of competency for volunteers.

CONSULTATION

Manager Regulatory Services

WALGA INFOPAGE: Proposed Advocacy Position on Arrangements for Management of Volunteer Bushfire Brigades 20 May 2022

WALGA: Arrangements for Management of Volunteer Bush Fire Brigades – Proposed Advocacy Position May 2022

STATUTORY REQUIREMENTS

Nil

POLICY IMPLICATIONS

Nil

FINANCIAL IMPLICATIONS

Nil (to propose a model)

RISK MANAGEMENT IMPLICATIONS

RISK MANAGEMENT FRAMEWORK			
Risk Profile	Risk Description/Cause	Key Control	Current Action
2. Business Disruption	Cyclone, storm, fire, earthquake	Emergency Resources and Support Budget	Review and Test LEMA Plan; Bushfire Risk Management Plan
6. Engagement Practices	Relationship breakdowns with community groups; Leadership inattention to current issues; Budget/funding issues; Miscommunication/poor communication; Inadequate involvement with or support of community groups; Media attention.	Advisory committees/groups; Support local community Volunteer groups	Review and assess Community Engagement Strategy and Plan
<i>Risk Rating: Adequate</i>			
IMPLICATIONS			
Implications of not advocating a consensus position may contribute to the State Government transfer responsibility for BFBs to DFES in the new CES Act.			

ASSET MANAGEMENT IMPLICATIONS

Nil

SOUTHERN LINK VROC (VOLUNTARY REGIONAL ORGANISATION OF COUNCILS) IMPLICATIONS

Nil

VOTING REQUIREMENTS

Simple majority

OFFICER RECOMMENDATION

1. That Council supports the hybrid model proposed by the Western Australian Local Government Association in its Arrangements for Management of Volunteer Bush Fire Brigades – Proposed Advocacy Position May 2022, as attached, that enables the continued management of Volunteer Bush Fire Brigades by Local Governments with additional funding and support from State Government directly to Local Governments.
2. That, as a part of the above mentioned hybrid model, the State Government provides:
 - a. additional funding, support and resources to individual local governments to ensure they have the capability to manage Volunteer Bush Fire Brigades (BFBs) and thus emergencies;
 - b. a suite of relevant and co-designed guidelines and materials to assist Local Governments in managing BFBs;
 - c. a pathway for training and promotion requirements for BFB Volunteers supported by a universally accessible training program;
 - d. the recognition of prior learning, experience and competency of BFB Volunteers;
 - e. a support and recognition statement in the proposed Consolidated Emergency Services (CES) legislation that Volunteer BFBs are a critical component of the overall emergency management framework, as the agile first line of defence in emergency response and management throughout rural and regional WA; and
 - f. relief and protection in the proposed CES Act for Local Governments, Local Government Responsible Officers, Councils, and Volunteer BFBs, from Work and Health and Safety requirements where management of the community BFBs is on a voluntary basis.

9.3 KEY PILLAR 3 – ‘PERFORMANCE’ REPORTS

9.3.1 FINANCIAL MANAGEMENT – MONTHLY STATEMENT OF FINANCIAL ACTIVITY (MAY 2022)

AUTHOR	Anthony Middleton – Manager Corporate & Community Services
DATE	Wednesday, 8 June 2022
FILE NO	FM.FNR.2
ATTACHMENT (S)	9.3.1.1 - May 2022 Monthly Financial Statements

STRATEGIC/CORPORATE IMPLICATIONS		
“Smart Possibilities – Kojonup 2027+”		“Smart Implementation – Kojonup 2020 – 2024”
Key Pillar	Community Outcomes	Corporate Actions
3 - Performance	3.4 – Be organised and transparent with our financial management.	3.4.1 - Increase regularity of readable financial reporting to the community. 3.4.2 – Act with sound long-term and transparent financial management and deliver residents considered value for money.

DECLARATION OF INTEREST

Nil

SUMMARY

The purpose of this report is to note the Monthly Financial Statements for the period ending 31 May 2022.

BACKGROUND

In addition to good governance, the presentation to the Council of monthly financial reports is a statutory requirement, with these to be presented at an ordinary meeting of the Council within two (2) months after the end of the period to which the statements relate.

COMMENT

The attached Statement of Financial Activity for the period 1 July 2021 to 31 May 2022 represents eleven (11) months, or 92% of the year.

The following items are worthy of noting:

- Closing surplus position of \$301,810;
- Operating results:
 - 93% of budgeted operating revenue has been received; and
 - 93% of budgeted operating expenditure spent;
- Capital expenditure achieved 67% of budgeted projects;
- Cash holdings of \$4.27m of which \$3.87m is held in cash backed reserve accounts and \$237,239 is a grant held for other parties;
- Rates debtors outstanding equate to 8% of total rates raised for 2021/2022; and

- Page 9 & 10 of the statements detail major variations from year to date (amended) budgets in accordance with Council Policy 2.1.6 – concern has been raised regarding the ‘Road Maintenance’ sub-program over expenditure of 104% of total year budget.

CONSULTATION

Nil

STATUTORY REQUIREMENTS

Regulation 34 of the *Local Government (Financial Management) Regulations 1996* sets out the basic information which must be included in the monthly reports to Council.

POLICY IMPLICATIONS

Council Policy 2.1.6 defines the content of the financial reports.

FINANCIAL IMPLICATIONS

This item reports on the current financial position of the Shire. The recommendation does not in itself have a financial implication.

RISK MANAGEMENT IMPLICATIONS

Nil

ASSET MANAGEMENT IMPLICATIONS

Nil

SOUTHERN LINK VROC (VOLUNTARY REGIONAL ORGANISATION OF COUNCILS) IMPLICATIONS

Nil

VOTING REQUIREMENTS

Simple Majority

OFFICER RECOMMENDATION

That the monthly financial statements for the period ending 31 May 2022, as attached, be noted.

9.3.2 MONTHLY PAYMENTS LISTING – MAY 2022

AUTHOR	Vivicka Kahn - Finance and Payroll Officer
DATE	Sunday, 12 June 2022
FILE NO	FM.AUT.1
ATTACHMENT	9.3.2.1 – Monthly Payments Listing 1 to 31 May 2022

STRATEGIC/CORPORATE IMPLICATIONS		
“Smart Possibilities – Kojonup 2027+”		“Smart Implementation – Kojonup 2020-2024”
Key Pillar	Community Outcomes	Corporate Actions
3 - Performance	3.4 – Be organised and transparent with our financial management.	3.4.1 - Increase regularity of readable financial reporting to the community. 3.4.2 – Act with sound long-term and transparent financial management and deliver residents considered value for money.

DECLARATION OF INTEREST

Nil

SUMMARY

To receive the list of payments covering the month of May 2022.

BACKGROUND

Not applicable

COMMENT

The attached list of payments is submitted for receipt by the Council.

Any comments or queries regarding the list of payments is to be directed to the Chief Executive Officer prior to the meeting.

CONSULTATION

Nil

STATUTORY REQUIREMENTS

Regulation 12(1)(a) of the *Local Government (Financial Management) Regulations 1996* provides that payment may only be made from the municipal fund or trust fund if the Local Government has delegated the function to the Chief Executive Officer.

The Chief Executive Officer has delegated authority to authorise payments. Relevant staff have also been issued with delegated authority to issue orders for the supply of goods and services subject to budget limitations.

Regulation 13 of the *Local Government (Financial Management) Regulations 1996* provides that if the function of authorising payments is delegated to the Chief Executive Officer then a list of payments is to be presented to the Council at the next ordinary meeting and recorded in the minutes.

POLICY IMPLICATIONS

Council's Policy 2.1.2 provides authorisations and restrictions relative to purchasing commitments.

FINANCIAL IMPLICATIONS

All payments made in line with Council Policy.

STRATEGIC/CORPORATE IMPLICATIONS

There are no strategic/corporate implications involved with presentation of the list of payments.

RISK MANAGEMENT IMPLICATIONS

A control measure to ensure transparency of financial systems and controls regarding creditor payments.

ASSET MANAGEMENT PLAN IMPLICATIONS

There are no asset management implications for this report.

SOUTHERN LINK VROC (VOLUNTARY REGIONAL ORGANISATION OF COUNCILS) IMPLICATIONS

Nil

VOTING REQUIREMENTS

Simple Majority

OFFICER RECOMMENDATION

That, in accordance with Regulation 13 (1) of the *Local Government (Financial Management) Regulations 1996*, the list of payments as attached made under delegated authority:

FROM – 1 May 2022		TO – 31 May 2022
Municipal Cheques	14335 - 14337	\$27,759.24
EFTs	30025 - 30152	\$1,014,803.80
Direct Debits		\$414,677.83
Total		\$1,457,240.87

be received.

9.4 KEY PILLAR 4 – ‘PROSPERITY’ REPORT

9.4.1 PROPOSED SINGLE HOUSE AND (THREE) 3 CABINS - LOT 5 (No. 4631) SCOTTS BROOK ROAD, MOBRUP

AUTHOR	Steve Thompson - Consultant Planner, Edge Planning & Property
DATE	Monday, 13 June 2022
FILE NO	A14100
ATTACHMENT(S)	<p>9.4.1.1 - Location plan</p> <p>9.4.1.2 - Plans and original letter from applicant</p> <p>9.4.1.3 - Extract from <i>Planning and Development (Local Planning Scheme) Regulations 2015</i></p> <p>9.4.1.4 - Letter from neighbour</p> <p>9.4.1.5 - Response from applicant</p> <p>9.4.1.6 - Tourist Accommodation in Rural Zoned Areas Policy</p>

STRATEGIC/CORPORATE IMPLICATIONS		
“Smart Possibilities – Kojonup 2027+”		“Smart Implementation – Kojonup 2020-2024”
Key Pillar	Community Outcomes	Corporate Actions
4 - Prosperity	4.1 – Be providing business assistance for growth in small local industry	4.1.1 – Amend Town Planning Scheme to encourage economic development and private investment

DECLARATION OF INTEREST

Nil

SUMMARY

To consider an application for development approval for a single house and three (3) cabins.

BACKGROUND

The application site is located approximately 44 kms south-west of the Kojonup townsite (Attachment 9.4.1.1). The property is 323.8396 hectares in area and contains a machinery shed. Parts of the property have been used as a tree plantation.

The surrounding and nearby lots are zoned ‘Rural’ and are used for farming purposes including cereal cropping and livestock production.

Proposal

The applicant seeks approval for a single house and three (3) cabins (holiday accommodation) in the north-east section of the property. Details provided by the applicant are set out in Attachment 9.4.2.

The plans show the proposed buildings will be setback over 1500m from the front boundary to Scotts Brook Road, over 280m from the northern property boundary, over 275m from the eastern property boundary and over 1340m from the western boundary.

The proposed modular, single storey house is around 265m² in floor area. The walls will be clad in a combination of vertical weatherboards and unspecified coloured colorbond metal sheeting. The roofs will be an unspecified coloured colorbond metal sheeting.

Each cabin is 49.5m² in area plus there is a porch. The cabins contain a single bedroom, main living area, utility, bathroom and toilet. The cabins will be single-storey and of modular steel construction.

COMMENT

Following an assessment of the Development Application against the planning framework, the submission, and information provided by the applicant, the Development Application is considered to be generally consistent with Shire of Kojonup Town Planning Scheme No. 3 (TPS3) and policies. It is recommended that Council conditionally approve the Development Application given:

- It is overall consistent with the planning framework;
- The Council has expressed a desire to support increased tourism;
- The proposed cabins support a greater range of accommodation, contribute to diversifying the local economy and support tourism;
- The cabins have generous setbacks from off-site agricultural operations;
- No clearing of native vegetation is proposed;
- There are expected to be minimal environmental impacts;
- There are no objections from other Shire officers;
- There are manageable bushfire risks noting the buildings are not within the designated bushfire prone area; and
- Development conditions can assist to control the use and management of the development.

While noting the above, the application raises some matters which are outlined below.

Management of guests

A key issue is ensuring that guests are respectful of neighbours' farming operations and their 'right to farm'. The objection from a neighbour raises this, along with security, biosecurity and other matters. The applicant has, in part, responded to this matter.

A recommended development condition includes the preparation and implementation of a Management Plan. It is suggested the Management Plan should address matters including:

- Acknowledging that the property is situated in a rural area where agricultural land uses and rural activities should be expected and tolerated;
- Recognising existing farming operations have a 'right to farm' without interruption;
- Advising guests of expectations relating to rural activities and impacts;
- Addressing the responsibility for guest/visitor behaviour and management measures to be implemented to minimise adverse impact on the amenity of the locality;
- Seeking the operation to be a 'good neighbour' and to be considerate including relating to noise, litter and the approach to reducing fire risks;
- Considering and addressing impacts from guests/visitors including amplified music and other noise;
- Biosecurity;
- Fencing and addressing trespass;
- Restricting and/or managing pets;
- Not lighting any outside fires during periods of restricted and prohibited burning and bushfire warnings of any level;

- Adhering to all fire risk regulations with terms and conditions stipulating that no candles, sparklers, fireworks, flame-based décor or open fires are to be used during the restricted fire season;
- Fire equipment to be provided on site; and
- Outlining the approach to maximise the safety and security of guests and visitors including to dam(s).

Zoning and Land Use/Development

The property is zoned 'Rural' in the TPS3. The objectives for the Rural Zone are stated in clause 3.2.7 as:

- a) The zone shall consist of predominantly rural uses.
- b) To protect land from urban uses that may jeopardise the future use of that land for other planned purposes which are compatible with the zoning.
- c) To protect the land from closer development which would detract from the rural character and amenity of the area.
- d) To prevent any development which may affect the viability of a holding.
- e) To provide for limited commercial accommodation opportunities in a rural environment consistent with the Council's Policy for 'Farmstay', 'Bed and Breakfast Accommodation' and 'Chalet' facilities.

The single house land use, under TPS3, is a 'P' (permitted) use in the Rural zone. The single house complies with TPS3 development standards including setbacks.

Clause 5.13 Rural Development of TPS3 requires development within the Rural zone to comply with the zone objectives and such requirements as determined by Council. The proposed cabins (holiday accommodation) are not included in Table II – Development Table.

Holiday Accommodation - means accommodation comprising two or more cabins, apartments, chalets, cottages, or flats which, by way of trade or business, or for the purpose of any trade or business, is held out as being available or is made available for holiday purposes for occupation by persons other than the proprietor.

The proposal satisfies the definition of the 'holiday accommodation' land use which is an 'AA' (discretionary) land use within the Rural zone.

Setbacks

TPS3 provides limited guidance relating to setbacks in the Rural zone. While noting this, any impact of the proposed development should be contained on-site. This is to ensure that the development does not adversely affect agricultural pursuits occurring or potentially occurring on surrounding land.

Given the proposed buildings are setback at least 275m or greater from property boundaries, the development is unlikely to result in land use conflict with surrounding agricultural operations.

Bush fire planning

The proposed house and cabins are located off the designated bush fire prone area. While noting this, the driveway to the proposed house and the cabins are largely through a designated bush fire prone area. Accordingly, it is suggested the driveway should meet the Western Australian Planning Commission's *Guidelines for Planning in Bushfire Prone Areas*.

Future commercial activities

Should the applicant propose future development and/or events (such as 'safari' tours) and/or additional development, this may trigger the requirement for a new Development Application and the requirement for other Shire approvals.

Town Planning Scheme Policy Implications

Tourist Accommodation in Rural Zoned Areas Policy (see attachment 9.4.1.6).

Matters to be considered

Attachment 9.4.1.3 is an extract from the *Planning and Development (Local Planning Schemes) Regulations 2015* which sets out matters to be considered by local government in assessing a Development Application. The following assesses the application against key matters from the Regulations:

Matter to be Considered	Response
(a) the aims and provisions of this Scheme and any other local planning scheme operating within the Scheme area;	The proposed development is considered consistent with the aims and provisions of TPS3.
(b) the requirements of orderly and proper planning including any proposed local planning scheme or amendment to this Scheme that has been advertised under the <i>Planning and Development (Local Planning Schemes) Regulations 2015</i> or any other proposed planning instrument that the local government is seriously considering adopting or approving;	The proposal is considered consistent with the orderly and proper planning in a rural area noting TPS3 objectives and that holiday accommodation is a discretionary land use within the Rural zone.
(c) any approved State planning policy;	State Planning Policy (SPP) 3.7 Planning in Bushfire Prone Areas does not apply other than the driveway. SPP 2.5 Rural Planning sets out various objectives including avoiding and minimising land use conflict. The proposed cabins are well setback from property boundaries.
(g) any local planning policy for the Scheme area;	The application is consistent with Tourist Accommodation in Rural Areas.
(m) the compatibility of the development with its setting including the relationship of the	Noting the generous setbacks to property boundaries, it is suggested the development is compatible in its setting.

Matter to be Considered	Response
development to development on adjoining land or on other land in the locality including, but not limited to, the likely effect of the height, bulk, scale, orientation and appearance of the development;	
(n) the amenity of the locality including the following- (i) environmental impacts of the development; (ii) the character of the locality; (iii) social impacts of the development;	Subject to being a 'good neighbour' and managing guest activities, the proposal is not expected to negatively impact on the amenity or character of the rural locality.
(p) whether adequate provision has been made for the landscaping of the land to which the application relates and whether any trees or other vegetation on the land should be preserved;	No clearing of native vegetation is required.
(q) the suitability of the land for the development taking into account the possible risk of flooding, tidal inundation, subsidence, landslip, bush fire, soil erosion, land degradation or any other risk;	The house and cabins are not within the bushfire prone area.
(r) the suitability of the land for development, taking into account the possible risk to human health or safety;	The proposal is not considered to increase risk to human health or safety subject to on-going effective management of guests/visitors.
(s) the adequacy of - (i) the proposed means of access to and egress from the site; and (ii) arrangements for the loading, unloading, manoeuvring and parking of vehicles;	The proposed access/egress is appropriate and traffic generation can be readily accommodated on Scotts Brook Road.
(w) the history of the site where the development is to be located;	The development will not impact heritage values.
(y) any submissions received on the application;	One submission objects to the Development Application.

The Council has a number of options available to it, which are discussed below:

1. Not approve the proposal

The Council can choose to not approve the application and advise the proponent giving reasons. If this option were chosen, the single house and the holiday accommodation would not be able to be constructed.

2. *Approve the proposal*

The Council can choose to approve the application, in part or whole and with or without conditions. If this option were chosen, the development can proceed.

3. *Defer the proposal*

The Council can choose to defer the matter and seek additional information from the applicant before proceeding to make a decision.

This is a discretionary decision and the applicant has a right to request a review of any decision and/or condition made by the local government to the State Administrative Tribunal if aggrieved by the decision and/or any condition.

CONSULTATION

The Shire consulted for 14 days on the Development Application through writing to adjoining/nearby landowners along with other stakeholders. The Shire received one submission on the Development Application as outlined in Attachment 9.4.1.4. The submission objects to the application for a range of reasons including:

- Impacts from the existing mixed enterprise farming business on the proposed development e.g.; chemicals, livestock odour, safety, dust, noise, lights, smoke, pest control, professional kangaroo shooters, beehives;
- Risk to farm security and biosecurity; and
- Fire risks.

In response to the submission, the applicant has provided a letter as set out in Attachment 9.4.1.5.

STATUTORY REQUIREMENTS

Planning and Development Act 2005 (Act) and *Planning and Development (Local Planning Schemes) Regulations 2015* - the processing of the Development Application is required to comply with the requirements of Town Planning Scheme No. 3 which is an operative local planning scheme under the provisions of the *Act/Regulations*.

POLICY IMPLICATIONS

See comments in Town Planning Scheme Policy Implications above.

FINANCIAL IMPLICATIONS

The applicant has paid the Development Application fee.

RISK MANAGEMENT IMPLICATIONS

RISK MANAGEMENT FRAMEWORK			
Risk Profile	Risk Description/Cause	Key Control	Current Action
3 – Compliance	Impulsive decision making; Ineffective monitoring of changes to legislation	Professional accreditation/ certification maintained	Nil
6 – Engagement	Inadequate documentation or procedures.	Public notices/ local papers/ website communication	Nil
7 – Environment	Inadequate local laws /planning schemes	Environmental management compliance	Nil
8 – Errors, Omissions and Delays	Complex legislation; Incorrect information	Development Approval performance report	Nil
<i>Risk rating: Adequate</i>			
IMPLICATIONS			
Applicants need to ensure that Development Applications accord with the intent of the Shire of Kojonup Town Planning Scheme No.3. Council, in assessing applications, needs to adopt a similar approach that reflects present and future requirements without compromising amenity or establishing precedents.			

ASSET MANAGEMENT IMPLICATIONS

Nil

SOUTHERN LINK VROC (VOLUNTARY REGIONAL ORGANISATION OF COUNCILS) IMPLICATIONS

Nil

VOTING REQUIREMENTS

Simple Majority

OFFICER RECOMMENDATION

That Council grant Development Approval for a single house and three (3) cabins (holiday accommodation) at Lot 5 on Diagram 31359 (No. 4631) Scotts Brook Road, Mobrup, subject to the following conditions:

1. The development to be carried out and fully implemented in accordance with the attached stamped approved plans unless a variation has been approved by the local government in writing.
2. The operator is to ensure that noise levels are considerate of adjoining/nearby properties and are to be especially low in volume between 9.00pm and 8.00am.
3. The development is connected to an approved wastewater disposal system(s) to the satisfaction of the local government prior to occupation.
4. The development is connected to a potable water supply to the satisfaction of the local government prior to occupation.
5. Prior to lodgement of a Building Permit, a schedule of materials and colours shall be submitted for approval and implemented to the satisfaction of the local government.
6. The driveway serving the house and cabins is constructed prior to occupation of the cabins and maintained to a minimum all-weather standard to facilitate access to the development by 2-wheel drive vehicles. The driveway is to meet Table 6 - Vehicular access technical requirements of the Western Australian Planning Commission's Guidelines for Planning in Bushfire Prone Areas.
7. No person is permitted to stay in the cabins for a period of more than 3 months in any 12 month period.
8. A hard-wired smoke alarm must be installed in the cabin on or near the ceiling:
 - i) in every corridor or hallway associated with a bedroom or, if there is no corridor or hallway, in an area between the bedrooms and the remainder of the subject building;
 - ii) between each part of the cabin containing bedrooms and the remainder of the dwelling; and
 - iii) where bedrooms are served by a hallway, in that hallway.
9. A system of emergency lighting must be installed in the cabins to assist evacuation of occupants in the event of fire and this lighting must:
 - i) be activated by a smoke alarm(s) (required by the previous Condition); and
 - ii) consist of:
 - a) a light incorporated within the smoke alarm(s) itself; or
 - b) lighting located within the corridor, hallway or area served by the required smoke alarm(s).
10. A Bushfire Emergency Evacuation Plan (Plan) is to be prepared to the satisfaction of the local government and then implemented prior to occupation of the cabins. All measures contained in the Plan are to be maintained to the satisfaction of the local government. The Bushfire Emergency Evacuation Plan is to be displayed in the cabins at all times.
11. The landowner is to submit and gain local government approval for a Management Plan, prior to occupation of the cabins, which addresses the responsibility for the behaviour of guests/visitors and the management measures to be implemented to minimise adverse impacts on the amenity of the locality. The submitted management details shall be implemented on an ongoing basis to the satisfaction of the local government.

12.No habitation (temporary or permanent) is permitted in the machinery storage shed.

Advice Notes:

A) This is not a Building Permit. A Building Permit must be obtained before any building works commence.

B) With regard to Condition 6, the driveway is to meet Table 6 - Vehicular access technical requirements of the Western Australian Planning Commission's Guidelines for Planning in Bushfire Prone Areas including:

- All sections of the driveway to have a minimum constructed trafficable surface (i.e. gravel/ crushed rock) with a width of 4 metres and horizontal clearance of 6 metres.
- All vegetation overhanging the driveway/accessway should be trimmed to maintain a minimum vertical clearance of 4.5 metres.
- Passing bays should be located every 200 metres with a minimum length of 20 metres and a minimum width of two metres (i.e. the combined trafficable width of the passing bay and constructed driveway to be a minimum six metres) and constructed to a suitable standard (e.g. gravel, crushed rock).

C) In relation to Condition 11, the Management Plan will address matters including:

- Acknowledging that the property is situated in a rural area where agricultural land uses and rural activities should be expected and tolerated;
- Recognising existing farming operations have a 'right to farm' without interruption;
- Advising guests of expectations relating to rural activities and impacts;
- Addressing the responsibility for guest/visitor behaviour and management measures to be implemented to minimise adverse impact on the amenity of the locality;
- Seeking the operation to be a 'good neighbour' and to be considerate including relating to noise, litter and the approach to reducing fire risks;
- Considering and addressing impacts from guests/visitors including amplified music and other noise;
- Biosecurity;
- Fencing and addressing trespass;
- Restricting and/or managing pets;
- Not lighting any outside fires during periods of restricted and prohibited burning and bushfire warnings of any level;
- Adhering to all fire risk regulations with terms and conditions stipulating that no candles, sparklers, fireworks, flame-based décor or open fires are to be used during the restricted fire season;
- Fire equipment to be provided on site; and
- Outlining the approach to maximise the safety and security of guests and visitors including to dam(s).

D) The applicant is to retain appropriate Public Liability Insurance to cover the entire area the subject of this approval to the satisfaction of the local government.

E) If food is proposed to be supplied to guests/visitors, there is initially a requirement to obtain a food registration from the local government.

F) Further development and/or intensification on the property, including events and tours, may result in a need for a new Development Application and the requirement for other Shire approvals.

G) If the applicant or owner is aggrieved by this determination, there is a right of review by the State Administrative Tribunal in accordance with the Planning and Development Act 2005 Part 13. An application must be made within 28 days of the determination.

9.5 KEY PILLAR 5 – ‘DIGITAL’ REPORTS

Nil

10 APPLICATIONS FOR LEAVE OF ABSENCE

11 MOTIONS OF WHICH PREVIOUS NOTICE HAS BEEN GIVEN

12 QUESTIONS FROM MEMBERS WITHOUT NOTICE

13 NEW BUSINESS OF AN URGENT NATURE INTRODUCED BY DECISION OF THE MEETING

14 MEETING CLOSED TO THE PUBLIC

14.1 MATTERS FOR WHICH THE MEETING MAY BE CLOSED

14.2 PUBLIC READING OF RESOLUTIONS THAT MAY BE MADE PUBLIC

15 CLOSURE

There being no further business to discuss, the President thanked the members for their attendance and declared the meeting closed at ____ pm.

16 ATTACHMENTS (SEPARATE)

Item 6.1	6.1.1	Minutes of the Council Meeting held on 17 May 2022
Item 9.1.1	9.1.1.1	Original quote supplied by Southwest Civil
	9.1.1.2	Amended quote supplied by Southwest Civil
	9.1.1.3	Original drawings – marked up
	9.1.1.4	Paving quote supplied by Southwest Civil
	9.1.1.5	Original architectural drawings showing 1 brick
	9.1.1.6	Updated Civil Drawings showing 4 bricks
Item 9.1.2	9.1.2.1	Realm Studios - Kodja Place Schematic Design to create new entrance into the Rose Maze
	9.1.2.2	Drainage diagram
Item 9.2.1	9.2.1.1	Proposed Cat Local Law 2022
	9.2.1.2	s. 79 - <i>Cat Act 2011</i>
	9.2.1.3	Email correspondence from Steven Elliott, Senior Legislation Officer, Department of Local Government, Sport and Cultural Industries (Department)
	9.2.1.4	Joint Standing Committee on Delegated Legislation Report (JSCDL) - Cat Local Law review for Shire of Dardanup
	9.2.1.5	Email correspondence from Steven Elliott, Senior Legislation Officer, Department, outlining advice on changes being unlikely to be significant
Item 9.2.2	9.2.2.1	Proposed Parking Local Law 2022
	9.2.2.2	s. 3.5 and s. 3.10 - <i>Local Government Act 1995</i>
	9.2.2.3	Email correspondence from Steven Elliott, Senior Legislation Officer, Department of Local Government, Sport and Cultural Industries (Department)
	9.2.2.4	Email correspondence from Steven Elliott, Senior Legislation Officer, Department, outlining advice on changes being unlikely to be significant
Item 9.2.3	9.2.3.1	Email - outcome from meeting with DFES March 2022
	9.2.3.2	Consulting Great Southern – Shire of Kojonup Communications Tower Study (V1.6) August 2021 (Kojonup Tower Study)
	9.2.3.3	Radio Shadow Map – Current Samson Road Site
	9.2.3.4	Radio Shadow Map – Jingalup/Balgarup Road site
	9.2.3.5	DFES Internal Memorandum - Kojonup WAERN Coverage Review 2020

.../2

16 ATTACHMENTS (SEPARATE) cont...

Item 9.2.4	9.2.4.1	WALGA INFOPAGE: Proposed Advocacy Position on Arrangements for Management of Volunteer Bushfire Brigades 20 May 2022
	9.2.4.2	WALGA: Arrangements for Management of Volunteer Bush Fire Brigades – Proposed Advocacy Position May 2022
Item 9.3.1	9.3.1.1	May 2022 Monthly Financial Statements
Item 9.3.2	9.3.2.1	Monthly Payments Listing 1 to 31 May 2022
Item 9.4.1	9.4.1.1	Location plan
	9.4.1.2	Plans and original letter from applicant
	9.4.1.3	Extract from <i>Planning and Development (Local Planning Scheme) Regulations 2015</i>
	9.4.1.4	Letter from neighbour
	9.4.1.5	Response from applicant
	9.4.1.6	Tourist Accommodation in Rural Zoned Areas Policy

SHIRE OF KOJONUP

Kojonup



MINUTES

Ordinary Council Meeting

17 May 2022

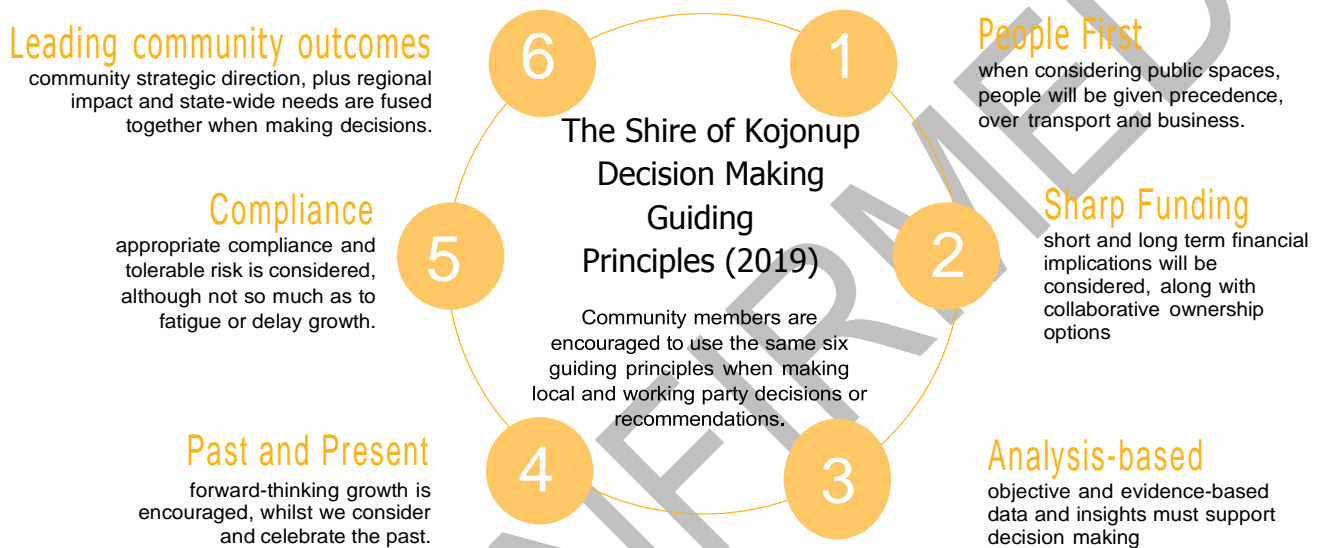
MINUTES OF A COUNCIL MEETING HELD ON 17 MAY 2022

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The Shire of Kojonup has a set of six guiding principles it uses when making decisions. These principles are checked and enhanced every two years in line with the Strategic Community Plan review schedule.



MINUTES

1 DECLARATION OF OPENING AND ANNOUNCEMENT OF GUESTS

The Shire President declared the meeting open at 3.00pm and drew the meeting's attention to the disclaimer below:

Disclaimer

No person should rely on or act on the basis of any advice or information provided by a Member or Officer, or on the content of any discussion occurring, during the course of the meeting.

The Shire of Kojonup expressly disclaims liability for any loss or damage suffered by any person as a result of relying on or acting on the basis of any advice or information provided by a member or officer, or the content of any discussion occurring, during the course of the meeting.

Where an application for an approval, a license or the like is discussed or determined during the meeting, the Shire warns that neither the applicant, nor any other person or body, should rely upon that discussion or determination until written notice of either an approval and the conditions which relate to it, or the refusal of the application has been issued by the Shire.

Acknowledgement of Country

The Shire of Kojonup acknowledges the first nations people of Australia as the Traditional custodians of this land and in particular the Keneang people of the Noongar nation upon whose land we meet.

We pay our respect to their Elders past, present and emerging.

Prayer – Cr Gale

Gracious Father, we acknowledge you as our Maker and Judge. We ask for wisdom for our reigning monarch Queen Elizabeth. Grant to her good health and strength in the executing of her duties.

We pray for all Ministers and Cabinet members of the Australian Federal and State Government. Grant to them wisdom in the welfare of Australia, so that truth and justice is established for all Australians.

Lastly Gracious Father, we pray for ourselves. We ask that you might grant to us the ability to speak with integrity and to work with uncompromising diligence. Grant to us the wisdom to make good decisions, remembering that we are one community. Grant to us the good humour to keep things in perspective in a community that is a diverse population.

We ask that we might always be mindful of the safety and welfare of the people of Kojonup. Grant to all who serve on public committees the ability to listen and work together with mutual respect for one another. Bless us with the personal joy of knowing that we have done our best.

2 ANNOUNCEMENTS FROM THE PRESIDING MEMBER

The President thanked the Deputy President for presiding over the 12 April 2022 Ordinary Meeting of Council during the President's absence.

3 ATTENDANCE

COUNCILLORS

Cr N Radford

Shire President

Cr Wieringa

Cr Gale

Cr Singh

Cr R Bilney

Cr A Egerton-Warburton

STAFF

Grant Thompson

Chief Executive Officer

Anthony Middleton

Manager Corporate and Community Services

Robert Jehu

Manager Regulatory Services

Judy Stewart

Senior Administration Officer

3.1 APOLOGIES

Nil

3.2 APPROVED LEAVE OF ABSENCE

Cr P Webb

Deputy Shire President

Cr F Webb

4 DECLARATION OF INTEREST

Cr Wieringa declared a proximity interest in Item 9.4.1 – Proposed Two (2) Motel Units – Lot 250 (No. 72) Albany Highway, Kojonup.

5 PUBLIC QUESTION TIME

Nil

5.1 RESPONSE TO PREVIOUS PUBLIC QUESTIONS TAKEN ON NOTICE

Not applicable

5.2 PUBLIC QUESTION TIME

Nil

6 CONFIRMATION OF MINUTES

6.1 COUNCIL MEETING 12 APRIL 2022

Minutes of the Council Meeting held on 12 April 2022 are at [Attachment 6.1.1](#).

OFFICER RECOMMENDATION/COUNCIL DECISION

33/22 Moved Cr Gale

Seconded Cr Singh

That the Minutes of the Council Meeting held on 12 April 2022 be confirmed as a true record.

CARRIED 6/0

7 PRESENTATIONS

7.1 PETITIONS

Nil

7.2 PRESENTATIONS

Nil

7.3 DEPUTATIONS

Nil

7.4 DELEGATES' REPORTS

Nil

8 METHOD OF DEALING WITH AGENDA BUSINESS

There were nil changes to the order of the meeting.

9 REPORTS

9.1 KEY PILLAR 1 – ‘PLACE’ REPORTS

9.1.1 LOCAL EMERGENCY MANAGEMENT COMMITTEE (LEMC) MEETING MINUTES – 9 MAY 2022

AUTHOR	Robert Jehu – Manager Regulatory Services
DATE	Tuesday, 10 May 2022
FILE NO	ES.MET.1
ATTACHMENT(S)	9.1.1.1 – Unconfirmed LEMC Meeting Minutes - 9 May 2022

STRATEGIC/CORPORATE IMPLICATIONS		
“Smart Possibilities – Kojonup 2027+”		“Smart Implementation – Kojonup 2018-2022”
Key Pillar	Community Outcomes	Corporate Actions
KP 2 - Connected	2.3 – Be providing for a safe and secure environment by working with State and Federal authorities.	2.3.1 - Maximize community safety through safe urban design and advocate for enhanced emergency service provisions.

DECLARATION OF INTEREST

Nil

SUMMARY

The purpose of this report is to consider the unconfirmed minutes of a LEMC meeting held 9 May 2022.

BACKGROUND

The LEMC is established under Section 38 of the *Emergency Management Act 2005* and plays an important role in the Council’s decision-making process. Minutes of these meetings are presented to Council to be received.

COMMENT

All matters contained within the minutes are considered in this agenda item.

CONSULTATION

Nil

STATUTORY REQUIREMENTS

Section 38 of the *Emergency Management Act 2005*

POLICY IMPLICATIONS

Nil

FINANCIAL IMPLICATIONS

Nil

RISK MANAGEMENT IMPLICATIONS

RISK MANAGEMENT FRAMEWORK			
Risk Profile	Risk Description/Cause	Key Control	Current Action
2 - Business Disruption	Lack of (or inadequate) emergency response/business continuity plans. Lack of training for specific individuals or availability of appropriate emergency response.	Regular LEMC, DEMC Meetings	Nil
Risk Rating - Adequate			
IMPLICATIONS			
Local governments are legislated to establish and maintain a LEMC. The risk of not having a LEMC would include lack of guidance for Staff, Councillors and relevant Community members who need to be able to work together under pressure in times of extreme stress should an emergency situation arise.			

ASSET MANAGEMENT IMPLICATIONS

Nil

SOUTHERN LINK VROC (VOLUNTARY REGIONAL ORGANISATION OF COUNCILS) IMPLICATIONS

Nil

VOTING REQUIREMENTS

Simple Majority

OFFICER RECOMMENDATION/COUNCIL DECISION

34/22 Moved Cr Gale

Seconded Cr Bilney

That the unconfirmed minutes of a Local Emergency Management Committee Meeting held 9 May 2022 be received.

CARRIED 6/0

9.1.2 BUSH FIRE ADVISORY COMMITTEE (BFAC) MEETING MINUTES – 11 MAY 2022

AUTHOR	Robert Jehu – Manager Regulatory Services
DATE	Thursday, 12 May 2022
FILE NO	ES.CIR.2
ATTACHMENT(S)	9.1.2.1 – Unconfirmed BFAC Meeting Minutes - 11 May 2022

STRATEGIC/CORPORATE IMPLICATIONS		
“Smart Possibilities – Kojonup 2027+”		“Smart Implementation – Kojonup 2018-2022”
Key Pillar	Community Outcomes	Corporate Actions
KP 2 - Connected	2.3 – Be providing for a safe and secure environment by working with State and Federal authorities.	2.3.1 - Maximise community safety through safe urban design and advocate for enhanced emergency service provisions.

DECLARATION OF INTEREST

Nil

SUMMARY

The purpose of this report is to receive the unconfirmed minutes of a BFAC meeting held 11 May 2022.

BACKGROUND

The BFAC is established under Section 67 of the *Bush Fires Act 1954* and plays an important role in the Council’s decision-making process.

COMMENT

Unconfirmed minutes of a BFAC meeting held 11 May 2022 are attached. A recommendation to appoint bush fire control officers is addressed separately.

CONSULTATION

Nil

STATUTORY REQUIREMENTS

Section 67 of the *Bush Fires Act 1954*

POLICY IMPLICATIONS

Nil

FINANCIAL IMPLICATIONS

Nil

RISK MANAGEMENT IMPLICATIONS

RISK MANAGEMENT FRAMEWORK			
Risk Profile	Risk Description/Cause	Key Control	Current Action
2 - Business Disruption	Lack of (or inadequate) emergency response/business continuity plans. Lack of training for specific individuals or availability of appropriate emergency response.	Regular LEMC, DEMC Meetings	Nil
Risk Rating - Adequate			
IMPLICATIONS			
Under legislation, the Shire of Kojonup (Shire) may establish and maintain a BFAC. The risk of not having a BFAC is that Staff and Councillors do not necessarily possess the relevant knowledge or experience regarding bush fires. The Shire is reliant on the BFAC to be able to provide this knowledge and to support volunteer bush fire efforts, training and resourcing requirements in protecting community safety and assets.			

ASSET MANAGEMENT IMPLICATIONS

Nil

SOUTHERN LINK VROC (VOLUNTARY REGIONAL ORGANISATION OF COUNCILS) IMPLICATIONS

Nil

VOTING REQUIREMENTS

Simple Majority

OFFICER RECOMMENDATION/COUNCIL DECISION

35/22 Moved Cr Egerton-Warburton Seconded Cr Bilney
That the unconfirmed minutes of a Bush Fire Advisory Committee meeting held 11 May 2022 be received.

CARRIED 6/0

9.1.3 APPOINTMENT OF BUSH FIRE CONTROL OFFICERS

AUTHOR	Robert Jehu – Manager Regulatory Services
DATE	Thursday, 12 May 2022
FILE NO	ES.CIR.2
ATTACHMENT(S)	As per attachment 9.1.2 - Unconfirmed BFAC Minutes - 11 May 2022

STRATEGIC/CORPORATE IMPLICATIONS		
“Smart Possibilities – Kojonup 2027+”		“Smart Implementation – Kojonup 2018-2022”
Key Pillar	Community Outcomes	Corporate Actions
KP 2 - Connected	2.3 – Be providing for a safe and secure environment by working with State and Federal authorities.	2.3.1 - Maximise community safety through safe urban design and advocate for enhanced emergency service provisions.

DECLARATION OF INTEREST

Nil

SUMMARY

The purpose of this report is to consider the recommendations of the Bush Fire Advisory Committee (BFAC) for the appointment of Bush Fire Control Officers for the 2022/2023 bush fire season.

BACKGROUND

The Annual General Meeting of the Kojonup Bushfire Association (Association) was held via email correspondence on 4 April 2022. The BFAC endorsed the Association’s recommendations at its meeting held 11 May 2022.

COMMENT

The BFAC made the following recommendations for 2022/2023, at its 11 May 2022 meeting:

- Tony Fisher be recommended for the Chief Bush Fire Control Officer (CBFCO);
- Roger House be recommended for the Deputy Chief Bush Fire Control Officer (DCBFCO);
- Ross Fryer-Smith and Nick Trethowan be recommended for the Senior Bush Fire Control Officers (SBFCO);
- The CBFCO and the DCBFCO are recommended for the Fire Weather Officer and Deputy Fire Weather Officer respectively;
- The CBFCO and the DCBFCO are recommended to be appointed as authorised officers to issue permits to burn for the collection of clover seed in the Shire; and
- The CBFCO, DCBFCO and the two Senior SBFCO’s be authorised to advise the Chief Executive Officer of the Shire of Kojonup on the imposition of Harvest and Vehicle Movement Bans.

The Kojonup Town Brigade position remains vacant; an appointment to this position will be brought to Council for consideration when a recommendation is received from the BFAC.

CONSULTATION

Nil

STATUTORY REQUIREMENTS

Section 38 of the *Bush Fires Act 1954*

Section 67 of the *Bush Fires Act 1954*

POLICY IMPLICATIONS

Policy 6.1 Fire Management Plan

Policy 2.3.5 Risk Management

FINANCIAL IMPLICATIONS

Nil

RISK MANAGEMENT IMPLICATIONS

RISK MANAGEMENT FRAMEWORK			
Risk Profile	Risk Description/Cause	Key Control	Current Action
2 - Business Continuity	Failure to adequately prepare and respond to events that cause disruption to the local community and/or normal business activities.	Community fire and emergency education Maintain regular communications with agencies and support services	Nil
3 - Compliance	Failure to correctly communicate laws and regulations as a result of an inadequate compliance framework. This includes new or proposed regulatory and legislative changes, in addition to the failure to maintain updated internal & public domain legal documentation.	External Audits (compliance)	Nil

	Ineffective policies & processes		
Risk Rating - Adequate			
IMPLICATIONS			
Appointment of these positions is legislated by the <i>Bushfires Act 1954 (Act)</i> ; compliance with this Act demonstrates processes are followed at management and governance levels that will assist in minimising the risks of bush fire upon the greater community.			

ASSET MANAGEMENT IMPLICATIONS

Nil

SOUTHERN LINK VROC (VOLUNTARY REGIONAL ORGANISATION OF COUNCILS) IMPLICATIONS

Nil

VOTING REQUIREMENTS

Simple Majority

UNCONFIRMED

OFFICER RECOMMENDATION/COUNCIL DECISION

36/22 Moved Cr Gale

Seconded Cr Egerton-Warburton

A) That the Council appoints to the following positions for the 2022/2023 year:

1. Tony Fisher - Chief Bush Fire Control Officer and Bush Fire Weather Officer;
2. Roger House - Deputy Chief Bush Fire Control Officer and Deputy Fire Weather Officer;
3. Ross Fryer-Smith and Nick Trethowan - Senior Bush Fire Control Officers;
4. The Chief Bush Fire Control Officer and the Deputy Chief Bush Fire Control Officer be appointed as authorised officers to issue permits to burn for the collection of clover seed in the Shire;
5. The Chief Bush Fire Control Officer, Deputy Chief Bush Fire Control Officer and the two Senior Bush Fire Control Officers be authorised to recommend to the Chief Executive Officer on the imposition of Harvest and Vehicle Movement Bans.

The nominees listed below be appointed to their respective Bush Fire Brigades subject to each person having successfully completed the Fire Control Officer's (FCO) course as conducted by the Department of Fire and Emergency Services:

Bevan Bignell	Captain/FCO, Boilup Brigade
Glen Woodhams	Captain/FCO, Boscabel Brigade
Paul Norrish	Captain/FCO, Changerup Brigade
Daniel Ladyman	Captain/FCO, Cherry Tree Pool Brigade
Will Owen	Captain/FCO, Jingalup Brigade
Gavin Norrish	Captain/FCO, Kojonup Brigade
Sam Jackson	Captain/FCO, Lumeah Brigade
Digby Stretch	Captain/FCO, Mobrup Brigade
Ben Blewett	Captain/FCO, Muradup Brigade
Daniel Simpson	Captain/FCO, Orchid Valley Brigade
Clayton Simcock	Captain/FCO, Qualeup Brigade
Stuart Tohl	Captain/FCO, Ryan's Brook Brigade
Bob Francis	FCO, Muradup Town

- B) That the Council expresses its sincere appreciation to the Kojonup Bushfire Association and Bush Fire Advisory Committee members and Zulus for continuing to provide essential bush fire services to our community.

CARRIED 6/0

9.1.4 BUILDING BETTER REGIONS FUND (BBRF) ROUND 6 GRANT APPLICATION – THE KODJA PLACE AND KOJONUP (APEX) PARK – FORMAL WITHDRAWAL OF APPLICATION

AUTHOR	Grant Thompson – Chief Executive Officer
DATE	Thursday, 11 May 2022
FILE NO	FM.FNR.2
ATTACHMENT(S)	<p>9.1.4.1 – Business Case</p> <p>9.1.4.2 – Project Management Plan</p> <p>9.1.4.3 – Cost Benefit Analysis</p> <p>9.1.4.4 – Operational Management Overview</p> <p>9.1.4.5 – Plans</p> <p>9.1.4.6 – Project Costings</p>

STRATEGIC/CORPORATE IMPLICATIONS		
“Smart Possibilities – Kojonup 2027+”		“Smart Implementation – Kojonup 2021 +”
Key Pillar	Community Outcomes	Corporate Actions
KP – 1 Place	1.1 – Have maximised our ‘One Community’ program through specific events, celebration of built form and enhancement of our environment	<p>1.1.3 - Grow The Kodja Place to become an iconic WA attraction.</p> <p>1.1.15 - Redevelop entire car park & landscaped area to improve functionality & traffic & pedestrian flow</p> <p>1.1.16 - Introduce low-impact, natural barriers & building screens to define the precinct & guide visitors to a single entrance.</p>

DECLARATION OF INTEREST

Nil

SUMMARY

At the 15 March 2022 Ordinary Meeting of Council a recommendation to ratify the BBRF Round 6 application previously submitted by the Shire of Kojonup (Shire) was rejected.

The purpose of this report is to formalise the withdrawal of the Shire’s BBRF Round 6 application.

BACKGROUND

In March 2021, the Shire submitted a BBRF Round 5 grant application encompassing the following:

- Sporting facility upgrades (building extension and deck, fencing, bowling/netball car park);
- The Kodja Place – implementation of recommendation 4, 5 & 6 of the Master Plan; and
- Extension of toilets, community kitchen and other infrastructure upgrades at Kojonup (Apex) Park.

Round 5 of the BBRF was grossly over-subscribed, with applications from Western Australia alone exceeding the total funding allocation pool Australia wide. In October 2021, the Shire was notified that its Round 5 application was unsuccessful.

Round 6 of the BBRF was announced in December 2021, with applications closing on 10 February 2022. This was a relatively short timeframe for a grant application of this magnitude especially considering time lost over the festive season and, therefore, appeared to be aimed at unsuccessful Round 5 applications. In conjunction with the Senior Management Team, and following discussions at the Council briefing session on 1 February 2022, staff submitted a Round 6 application seeking funding for the following:

- The Kodja Place – implementation of recommendation 4, 5 & 6 of the Master Plan; and
- Extension of toilets, community kitchen and other infrastructure upgrades at Kojonup (Apex) Park.

This grant application totalled \$4.3m and 50% (\$2.15m) was requested from the BBRF. The Federal Government has indicated that outcomes of the BBRF Round 6 applications will be advised 'in mid 2022'.

COMMENT

The attached documents outline the full BBRF Round 6 application. These documents are:

1. Business Case
2. Project Management Plan
3. Cost Benefit Analysis
4. Operational Management Overview
5. Plans
6. Project Quantity Surveyor Costings

At its 15 March 2022 Ordinary Meeting the Council did not endorse the following Officer Recommendation:

"OFFICER RECOMMENDATION/COUNCIL DECISION

13/22 Moved Cr Gale

Seconded Cr Wieringa

That the Round 6 Building Better Regions Fund grant application submitted for the upgrade of facilities at both Kojonup (Apex) Park and The Kodja Place, as attached, be endorsed.

LOST 3/5"

CONSULTATION

Council Briefing Session 1 February 2022

Council Briefing Session 15 February 2022

Ordinary Council Meeting 15 March 2022

Manager Corporate and Community Services

Senior Administration Officer

STATUTORY REQUIREMENTS

Nil

POLICY IMPLICATIONS

Nil

FINANCIAL IMPLICATIONS

Nil

RISK MANAGEMENT IMPLICATIONS

RISK MANAGEMENT FRAMEWORK			
Risk Profile	Risk Description/Cause	Key Control	Current Action
8 - Errors, Omissions and Delays	Errors, omissions or delays in operational activities as a result of unintentional errors or failure to follow due process including incomplete, inadequate or inaccuracies in advisory activities to customers or internal staff.	Segregation of duties (Financial control)	Nil
Risk Rating - Adequate			
IMPLICATIONS			
The aim of this report is to formalise the withdrawal of the BBRF Round 6 application as per the rejection of the recommendation at Council's 15 March 2022 Ordinary Meeting to submit the application. This demonstrates clear direction from the Council and minimises the risk of any doubt as to Council's intention regarding this application.			

ASSET MANAGEMENT IMPLICATIONS

The grant application, if successful, would have addressed major works on significant existing Shire assets.

SOUTHERN LINK VROC (VOLUNTARY REGIONAL ORGANISATION OF COUNCILS) IMPLICATIONS

Nil

VOTING REQUIREMENTS

Simple Majority

OFFICER RECOMMENDATION/COUNCIL DECISION

37/22 Moved Cr Egerton-Warburton Seconded Cr Bilney

1. That the Shire of Kojonup's (Shire) Building Better Regions Fund Round 6 grant application, submitted for the upgrade of facilities at both Kojonup (Apex) Park and The Kodja Place, as attached, be formally withdrawn prior to a decision being made on allocation of funds.
2. That the Shire write to the relevant funding party and advise the above post haste.

CARRIED 5/1

9.2 KEY PILLAR 2 – ‘CONNECTED’ REPORTS

Nil

9.3 KEY PILLAR 3 – ‘PERFORMANCE’ REPORTS

9.3.1 FINANCIAL MANAGEMENT – MONTHLY STATEMENT OF FINANCIAL ACTIVITY (MARCH 2022)

AUTHOR	Anthony Middleton – Manager Corporate and Community Services
DATE	Wednesday, 20 April 2022
FILE NO	FM.FNR.2
ATTACHMENT(S)	9.3.1.1 – March 2022 Monthly Financial Statements

STRATEGIC/CORPORATE IMPLICATIONS		
“Smart Possibilities – Kojonup 2027+”		“Smart Implementation – Kojonup 2021 +”
Key Pillar	Community Outcomes	Corporate Actions
KP – 3 Performance	3.4 – Be organised and transparent with our financial management.	3.4.1 - Increase regularity of readable financial reporting to the community. 3.4.2 – Act with sound long-term and transparent financial management and deliver residents considered value for money.

DECLARATION OF INTEREST

Nil

SUMMARY

The purpose of this report is to note the Monthly Financial Statements for the period ending 31 March 2022.

BACKGROUND

In addition to good governance, the presentation to the Council of monthly financial reports is a statutory requirement, with these to be presented at an ordinary meeting of the Council within two (2) months after the end of the period to which the statements relate.

COMMENT

The attached Statement of Financial Activity for the period 1 July 2021 to 31 March 2022 represents nine (9) months, or 75% of the year.

The following items are worthy of noting:

- Closing surplus position of \$767,764;
- Operating results:
 - 67% of budgeted operating revenue has been received; and
 - 80% of budgeted operating expenditure spent;

- Capital expenditure achieved 40% of budgeted projects;
- Cash holdings of \$4.26m of which \$3.52m is held in cash backed reserve accounts and \$237,239 is a grant held for other parties;
- Rates debtors outstanding equate to 9% of total rates raised for 2021/2022; and
- Page 9 & 10 of the statements detail major variations from year to date (amended) budgets in accordance with Council Policy 2.1.6 – concern has been raised regarding the ‘Animal Control’, ‘Fire Prevention’ and ‘Road Maintenance’ sub-programs over expenditure when compared to year-to-date (YTD) budgets.

CONSULTATION

Nil

STATUTORY REQUIREMENTS

Regulation 34 of the *Local Government (Financial Management) Regulations 1996* sets out the basic information which must be included in the monthly reports to Council.

POLICY IMPLICATIONS

Council Policy 2.1.6 defines the content of the financial reports.

FINANCIAL IMPLICATIONS

This item reports on the current financial position of the Shire. The recommendation does not in itself have a financial implication.

RISK MANAGEMENT IMPLICATIONS

Nil

ASSET MANAGEMENT IMPLICATIONS

Nil

SOUTHERN LINK VROC (VOLUNTARY REGIONAL ORGANISATION OF COUNCILS) IMPLICATIONS

Nil

VOTING REQUIREMENTS

Simple Majority

OFFICER RECOMMENDATION/COUNCIL DECISION

38/22 Moved Cr Gale

Seconded Cr Singh

That the monthly financial statements for the period ending 31 March 2022, as attached, be noted.

CARRIED 6/0

9.3.2 FINANCIAL MANAGEMENT – MONTHLY STATEMENT OF FINANCIAL ACTIVITY (APRIL 2022)

AUTHOR	Anthony Middleton – Manager Corporate and Community Services
DATE	Friday, 6 May 2022
FILE NO	FM.FNR.2
ATTACHMENT(S)	9.3.2.1 – April 2022 Monthly Financial Statements

STRATEGIC/CORPORATE IMPLICATIONS		
“Smart Possibilities – Kojonup 2027+”		“Smart Implementation – Kojonup 2021 +”
Key Pillar	Community Outcomes	Corporate Actions
KP – 3 Performance	3.4 – Be organised and transparent with our financial management.	3.4.1 - Increase regularity of readable financial reporting to the community. 3.4.2 – Act with sound long-term and transparent financial management and deliver residents considered value for money.

DECLARATION OF INTEREST

Nil

SUMMARY

The purpose of this report is to note the Monthly Financial Statements for the period ending 30 April 2022.

BACKGROUND

In addition to good governance, the presentation to the Council of monthly financial reports is a statutory requirement, with these to be presented at an ordinary meeting of the Council within two (2) months after the end of the period to which the statements relate.

COMMENT

The attached Statement of Financial Activity for the period 1 July 2021 to 30 April 2022 represents ten (10) months, or 83% of the year.

The following items are worthy of noting:

- Closing surplus position of \$1.22m;
- Operating results:
 - 89% of budgeted operating revenue has been received; and
 - 86% of budgeted operating expenditure spent;
- Capital expenditure achieved 55% of budgeted projects;
- Cash holdings of \$5.59m of which \$3.97m is held in cash backed reserve accounts and \$237,239 is a grant held for other parties;
- Rates debtors outstanding equate to 8% of total rates raised for 2021/2022; and

- Page 9 & 10 of the statements detail major variations from year to date (amended) budgets in accordance with Council Policy 2.1.6 – concern has been raised regarding the 'Road Maintenance' sub-program over expenditure when compared to year-to-date (YTD) budgets.

CONSULTATION

Nil

STATUTORY REQUIREMENTS

Regulation 34 of the *Local Government (Financial Management) Regulations 1996* sets out the basic information which must be included in the monthly reports to Council.

POLICY IMPLICATIONS

Council Policy 2.1.6 defines the content of the financial reports.

FINANCIAL IMPLICATIONS

This item reports on the current financial position of the Shire of Kojonup. The recommendation does not in itself have a financial implication.

RISK MANAGEMENT IMPLICATIONS

Nil

ASSET MANAGEMENT IMPLICATIONS

Nil

SOUTHERN LINK VROC (VOLUNTARY REGIONAL ORGANISATION OF COUNCILS) IMPLICATIONS

Nil

VOTING REQUIREMENTS

Simple Majority

OFFICER RECOMMENDATION/COUNCIL DECISION

39/22 Moved Cr Singh

Seconded Cr Bilney

That the monthly financial statements for the period ending 30 April 2022, as attached, be noted.

CARRIED 6/0

9.3.3 MONTHLY PAYMENTS LISTING – APRIL 2022

AUTHOR	Vivicka Kahn - Finance and Payroll Officer
DATE	Sunday, 8 May 2022
FILE NO	FM.AUT.1
ATTACHMENT	9.3.3.1 – Monthly Payments Listing 1 to 30 April 2022

STRATEGIC/CORPORATE IMPLICATIONS		
“Smart Possibilities – Kojonup 2027+”		“Smart Implementation – Kojonup 2019-2023”
Key Pillar	Community Outcomes	Corporate Actions
KP3 - Performance	3.4 – Be organised and transparent with our financial management.	3.4.1 - Increase regularity of readable financial reporting to the community. 3.4.2 – Act with sound long-term and transparent financial management and deliver residents considered value for money.

DECLARATION OF INTEREST

Nil

SUMMARY

To receive the list of payments covering the month of April 2022.

BACKGROUND

Not applicable

COMMENT

The attached list of payments is submitted for receipt by the Council.

Any comments or queries regarding the list of payments is to be directed to the Manager of Corporate and Community Services prior to the meeting.

CONSULTATION

Nil

STATUTORY REQUIREMENTS

Regulation 12(1)(a) of the *Local Government (Financial Management) Regulations 1996* provides that payment may only be made from the municipal fund or trust fund if the Local Government has delegated the function to the Chief Executive Officer.

The Chief Executive Officer has delegated authority to authorise payments. Relevant staff have also been issued with delegated authority to issue orders for the supply of goods and services subject to budget limitations.

Regulation 13 of the *Local Government (Financial Management) Regulations 1996* provides that if the function of authorising payments is delegated to the Chief Executive Officer then a list of payments is to be presented to the Council at the next ordinary meeting and recorded in the minutes.

POLICY IMPLICATIONS

Council's Policy 2.1.2 provides authorisations and restrictions relative to purchasing commitments.

FINANCIAL IMPLICATIONS

All payments are made in line with Council Policy 2.1.2.

STRATEGIC/CORPORATE IMPLICATIONS

Nil

RISK MANAGEMENT IMPLICATIONS

A control measure to ensure transparency of financial systems and controls regarding creditor payments.

ASSET MANAGEMENT PLAN IMPLICATIONS

Nil

SOUTHERN LINK VROC (VOLUNTARY REGIONAL ORGANISATION OF COUNCILS) IMPLICATIONS

Nil

VOTING REQUIREMENTS

Simple Majority

OFFICER RECOMMENDATION/COUNCIL DECISION

40/22 Moved Cr Singh

Seconded Cr Wieringa

That, in accordance with Regulation 13 (1) of the *Local Government (Financial Management) Regulations 1996*, the list of payments as attached made under delegated authority:

FROM – 1 April 2022		TO – 30 April 2022
Municipal Cheques	14332 - 14334	\$828.12
EFTs	29872 - 30024	\$835,253.20
Direct Debits		\$425,049.63
Total		\$1,261,130.95

be received.

CARRIED 6/0

9.3.4 SPRINGHAVEN WORKING GROUP (SWG) INAUGURAL MEETING MINUTES – 22 MARCH 2022

AUTHOR	Judy Stewart – Senior Administration Officer
DATE	Monday, 9 May 2022
FILE NO	GO.CNM.9
ATTACHMENT	9.3.4.1 – Unconfirmed SWG Inaugural Meeting Minutes – 22 March 2022

STRATEGIC/CORPORATE IMPLICATIONS		
“Smart Possibilities – Kojonup 2027+”		“Smart Implementation – Kojonup 2018-2022”
Key Pillar	Community Outcomes	Corporate Actions
KP 3 - Performance	<p>3.1 – Be a continually engaged and strategic community which leads and organises throughout the entire stakeholder group.</p> <p>3.4 – Be organised and transparent with our financial management.</p>	<p>3.1.3 – Encourage interaction and input to the Shire of Kojonup, particularly through contemporary working party teams.</p> <p>3.1.5 – Implement strategies to improve Councillors role as community leaders and asset custodians.</p> <p>3.4.2 – Act with sound long-term and transparent financial management and deliver residents considered value for money.</p>

DECLARATION OF INTEREST

Nil

SUMMARY

The purpose of this report is to receive the minutes of a SWG meeting held 22 March 2022 (attachment 9.3.3.1).

BACKGROUND

The SWG was formed by Council at its 15 February 2022 Ordinary Meeting. The SWG’s role is to report to Council and provide appropriate recommendations and advice on matters relevant to its Terms of Reference in order to facilitate decision-making by Council in relation to the discharge of Council’s responsibilities. Any recommendations from SWG meetings will be presented to Council as separate agenda items for consideration.

COMMENT

The SWG held its inaugural meeting on 22 March 2022. One recommendation to Council, from this meeting, is presented separately within this agenda for Council’s endorsement.

CONSULTATION

Nil

STATUTORY REQUIREMENTS

Nil

POLICY IMPLICATIONS

Policy 5.2 – Springhaven Policy Manual – Nil implications

FINANCIAL IMPLICATIONS

Nil

RISK MANAGEMENT IMPLICATIONS

RISK MANAGEMENT FRAMEWORK			
Risk Profile	Risk Description/Cause	Key Control	Current Action
1 - Asset Sustainability	Insufficient budget to maintain or replace assets	Routine maintenance schedule Asset replacement schedule	Nil
3 - Compliance	Failure to correctly identify, interpret, assess, respond and communicate laws and regulations as a result of an inadequate compliance framework. This includes new or proposed regulatory and legislative changes, in addition to the failure to maintain updated internal & public domain legal documentation.	Financial Management Review	Nil
Risk rating - Low			
IMPLICATIONS			
The SWG assists in identifying and mitigating overall financial risk to the Shire of Kojonup and provision of services to the Community.			

ASSET MANAGEMENT IMPLICATIONS

Nil

SOUTHERN LINK VROC (VOLUNTARY REGIONAL ORGANISATION OF COUNCILS) IMPLICATIONS

Nil

VOTING REQUIREMENTS

Simple Majority

OFFICER RECOMMENDATION/COUNCIL DECISION

41/22 Moved Cr Bilney

Seconded Cr Egerton-Warburton

That the minutes of a Springhaven Working Group meeting held 22 March 2022 be received.

CARRIED 6/0

UNCONFIRMED

9.3.5 SPRINGHAVEN WORKING GROUP (SWG) – APPOINTMENT OF COMMUNITY MEMBERS

AUTHOR	Judy Stewart – Senior Administration Officer
DATE	Monday, 9 May 2022
FILE NO	GO.CNM.9
ATTACHMENT(S)	9.3.5.1 – SWG – Terms of Reference 9.3.5.2 - Correspondence – Jill Mathwin 9.3.5.3 – Correspondence – Kevin Broom

STRATEGIC/CORPORATE IMPLICATIONS		
“Smart Possibilities – Kojonup 2027+”		“Smart Implementation – Kojonup 2018-2022”
Key Pillar	Community Outcomes	Corporate Actions
KP 3 - Performance	3.1 – Be a continually engaged and strategic community which leads and organises throughout the entire stakeholder group. 3.4 – Be organised and transparent with our financial management.	3.1.3 – Encourage interaction and input to the Shire of Kojonup, particularly through contemporary working party teams. 3.1.5 – Implement strategies to improve Councillors role as community leaders and asset custodians. 3.4.2 – Act with sound long-term and transparent financial management and deliver residents considered value for money.

DECLARATION OF INTEREST

Nil

SUMMARY

The purpose of this report is for Council to consider the endorsement of Jill Mathwin and Kevin Broom as community members of the SWG.

BACKGROUND

The SWG was formed by Council at its 15 February 2022 Ordinary Meeting. Clauses 2.1 (b) and (c) of the SWG Terms of Reference require the appointment of any external person/s to be made by Council for a tenure determined by Council.

COMMENT

The SWG chairman, Cr Bilney, invited Jill Mathwin and Kevin Broom to be the inaugural community members based on their experience with Springhaven Lodge and their financial knowledge and experience. Both Jill Mathwin and Kevin Broom have indicated that they are willing to accept this role. For Council decision.

CONSULTATION

Nil

STATUTORY REQUIREMENTS

Nil

POLICY IMPLICATIONS

Policy 5.2 – Springhaven Policy Manual – Nil implications

FINANCIAL IMPLICATIONS

Nil – in accordance with the SWG Terms of Reference, there will be no remuneration paid to members of the SWG including any external person/s.

RISK MANAGEMENT IMPLICATIONS

RISK MANAGEMENT FRAMEWORK			
Risk Profile	Risk Description/Cause	Key Control	Current Action
3. Compliance	Failure to correctly identify, interpret, assess, respond and communicate laws and regulations as a result of an inadequate compliance framework. This includes new or proposed regulatory and legislative changes, in addition to the failure to maintain updated internal & public domain legal documentation.	Financial Management Review	Nil
Risk rating - Low			
IMPLICATIONS			
The SWG assists in identifying and mitigating overall financial risk to the Shire OF Kojonup and provision of services to the Community; its Terms of Reference allow for external person/s to be members. Appointment of community members with specific Springhaven Lodge and financial knowledge and experience is anticipated to assist in the lessening of risk to the ongoing provision of aged care services that Springhaven Lodge provides to the community.			

ASSET MANAGEMENT IMPLICATIONS

Nil

SOUTHERN LINK VROC (VOLUNTARY REGIONAL ORGANISATION OF COUNCILS) IMPLICATIONS

Nil

VOTING REQUIREMENTS

Simple Majority

OFFICER RECOMMENDATION/COUNCIL DECISION

42/22 Moved Cr Gale

Seconded Cr Singh

That Jill Mathwin and Kevin Broom be appointed as community members of the Springhaven Working Group until the 2023 Local Government Election.

CARRIED 6/0

Cr Wieringa left the meeting at 3.10pm.

UNCONFIRMED

9.4 KEY PILLAR 4 – ‘PROSPERITY’ REPORT

9.4.1 PROPOSED TWO (2) MOTEL UNITS – LOT 250 (NO. 72) ALBANY HIGHWAY, KOJONUP

AUTHOR	Steve Thompson - Consultant Planner, Edge Planning and Property
APPLICANT	Paul and Felicity Webb
DATE	Thursday, 12 May 2022
FILE NO	A6411
ATTACHMENT(S)	9.4.1.1 - Letter of Application and Plans – P & F Webb – 72 Albany Highway 9.4.1.2 – Landgate map – 72 Albany Highway 9.4.1.3 - Extract from <i>Planning and Development (Local Planning Scheme) Regulations 2015</i>

STRATEGIC/CORPORATE IMPLICATIONS		
“Smart Possibilities – Kojonup 2027+”		“Smart Implementation – Kojonup 2018-2022”
Key Pillar	Community Outcomes	Corporate Actions
KP 4 - Prosperity	4.1 – Be providing business assistance for growth in small local industry	4.1.1 – Amend Town Planning Scheme to encourage economic development and private investment

DECLARATION OF INTEREST

Edge Planning & Property receive payment for planning advice to the Shire of Kojonup and declare a Financial Interest (section 5.70 of the *Local Government Act 1995*).

SUMMARY

To consider an application for Development Approval to expand the Cornwall House Accommodation. The proposal is to build two motel units in the south west corner of the property facing Spring Street, with off street parking for up to three cars.

BACKGROUND

The Council has previously considered matters relating to the property on various occasions.

The applicant seeks approval for two motel units in the south west section of the property. Proposed vehicle access to the motel units is from Spring Street. Details provided by the applicant are provided in attachments 9.4.1.1 and 9.4.1.2.

The property is 3032m² in area and contains the Cornwall House Accommodation. The site is appropriately serviced including that it is connected to the reticulated sewerage system.

COMMENT

The Development Application is generally consistent with the Shire of Kojonup Town Planning Scheme No. 3 (TPS3). The only variation from the TPS3 standards is the front setback. Table 2 – Development Table sets out a 9 metre front setback for motels, while the Development Application proposes 4.5 metres. TPS3 provides discretion to vary development standards if the Council considers the application is consistent with the orderly and proper planning of the locality and the preservation of the amenities of the locality. It is

suggested a 4.5 metre setback is reasonable in the Commercial zone noting many buildings have a lesser front setback.

It is accordingly recommended that Council conditionally approve the Development Application. The proposal supports a greater range of accommodation and supports increased economic activity. Development conditions can address relevant matters.

Zoning and Land Use/Development

The property is zoned 'Commercial' and is located within the 'Special Design Area' under the Shire of Kojonup Town Planning Scheme No. 3 (TPS3).

TPS3 objectives for the Commercial zone include:

- To maintain a compact and accessible centre.
- To centralise commercial and service functions.
- To maintain the compatibility with the general streetscape, for all new buildings in terms of scale, height, style, materials, street alignment and design of facades.

The proposal satisfies the definition of the 'motel' land use which is an 'AA' discretionary land use within the Commercial zone. There is no statutory requirement to advertise the Development Application.

Bushfire Planning

The motel units are proposed to be located outside of the bushfire prone area.

Town Planning Scheme Policy Implications

Nil

Matters to be considered

Attachment 9.4.1.3 is an extract from the *Planning and Development (Local Planning Schemes) Regulations 2015* which sets out matters to be considered by local government in assessing a Development Application. The following reviews the application against key matters from the Regulations.

Matter to be Considered	Response
(a) the aims and provisions of this Scheme and any other local planning scheme operating within the Scheme area;	The proposed development is considered consistent with the aims and provisions of TPS3.
(b) the requirements of orderly and proper planning including any proposed local planning scheme or amendment to this Scheme that has been advertised under the <i>Planning and Development (Local Planning Schemes) Regulations 2015</i> or any other proposed planning instrument that the local government is	The proposed development is consistent with the orderly and proper planning of the area.

Matter to be Considered	Response
seriously considering adopting or approving;	
(c) any approved State planning policy;	SPP3.7 Planning in Bushfire Prone Areas does not apply to the proposed motel units. SPP 5.4 Road and Rail Noise - the property is within the 'trigger distance' of freight traffic noise from Albany Highway.
(g) any local planning policy for the Scheme area;	Nil
(m) the compatibility of the development with its setting including the relationship of the development to development on adjoining land or on other land in the locality including, but not limited to, the likely effect of the height, bulk, scale, orientation and appearance of the development;	The motel units are consistent other approved motel units on the property in terms of size, height, bulk, and scale.
(n) the amenity of the locality including the following- (i) environmental impacts of the development; (ii) the character of the locality; (iii) social impacts of the development;	Subject to addressing noise impacts, the proposal is not expected to have a negative impact on the amenity of the locality.
(p) whether adequate provision has been made for the landscaping of the land to which the application relates and whether any trees or other vegetation on the land should be preserved;	No clearing of native vegetation is required. The area between the motel units and Spring Street is proposed to be landscaped.
(q) the suitability of the land for the development taking into account the possible risk of flooding, tidal inundation, subsidence, landslip, bush fire, soil erosion, land degradation or any other risk;	The site is not known to be affected by any natural hazard including flood, subsidence, erosion etc. The motel units are not within the bushfire prone mapping area.
(s) the adequacy of - (i) the proposed means of access to and egress from the site; and (ii) arrangements for the loading, unloading, manoeuvring and parking of vehicles;	The proposed access/egress is appropriate.
(w) the history of the site where the development is to be located;	The motel units will not impact heritage values.
(y) any submissions received on the application;	There has been no consultation on this development application.

Matter to be Considered	Response
<p><i>c.78E. of the Planning and Development (Local Planning Schemes) Amendment Regulations 2015</i></p> <p>In considering an application for development approval for development to which this Part applies, the local government is to have regard to the bushfire resistant construction requirements of the Building Code.</p>	<p>See (q) above.</p>

The Council has a number of options available to it, which are discussed below:

1 Not approve the proposal

The Council can choose to not approve the application and advise the proponent giving reasons. If this option were chosen, the motel units would not be able to be constructed.

2 Approve the proposal

The Council can choose to approve the application, in part or whole and with or without conditions. If this option were chosen, the motel units can proceed.

3 Defer the proposal

The Council can choose to defer the matter and seek additional information from the applicant or undertake consultation with the public, if deemed necessary, before proceeding to make a decision.

This is a discretionary decision and the applicant has a right to request a review of any decision and/or condition made by the Local Government to the State Administrative Tribunal if aggrieved by the decision and/or any condition.

CONSULTATION

There has been nil consultation on the Development Application.

STATUTORY REQUIREMENTS

Planning and Development Act 2005 and *Planning and Development (Local Planning Schemes) Regulations 2015* - the processing of the Development Application is required to comply with the requirements of Town Planning Scheme No. 3 which is an operative local planning scheme under the provisions of the *Act/Regulations*.

POLICY IMPLICATIONS

See comments in Town Planning Scheme Policy Implications above.

FINANCIAL IMPLICATIONS

The applicant is required to pay the Development Application fee of \$256 as set out in the adopted 2021/22 Schedule of Fees and Charges.

RISK MANAGEMENT IMPLICATIONS

RISK MANAGEMENT FRAMEWORK			
Risk Profile	Risk Description/Cause	Key Control	Current Action
3 - Compliance	Impulsive decision making Ineffective monitoring of changes to legislation	Professional accreditation / certification maintained	Nil
6 - Engagement	Inadequate documentation or procedures	Public notices / local papers / website communication	Nil
7 - Environment	Inadequate local laws / planning schemes	Environmental management compliance	Nil
8 - Errors, Omissions and Delays	Complex legislation Incorrect information	Development Approval performance report	Nil
<i>Risk rating: Adequate</i>			
IMPLICATIONS			
Applicants need to ensure that development applications accord with the intent of the Shire of Kojonup Planning Scheme. Council in assessing applications needs to adopt a similar approach that reflects present and future requirements without compromising amenity or establishing precedents.			

ASSET MANAGEMENT IMPLICATIONS

Nil

SOUTHERN LINK VROC (VOLUNTARY REGIONAL ORGANISATION OF COUNCILS) IMPLICATIONS

Nil

VOTING REQUIREMENTS

Simple Majority

OFFICER RECOMMENDATION/COUNCIL DECISION

43/22 Moved Cr Singh

Seconded Cr Bilney

That Council grant Development Approval for two motel units at Lot 250 on Deposited Plan 417655 (No. 72) Albany Highway, Kojonup subject to the following conditions:

- 1) The development to be carried out and fully implemented in accordance with the attached plans unless a variation has been approved by the local government in writing.
- 2) The crossover, vehicle access way and car parking spaces are to be designed, constructed (sealed such as concrete and bitumen seal) and drained to the satisfaction of the local government prior to occupation of the development.
- 3) The motel units to be connected to the Water Corporation reticulated sewer and water supply networks prior to occupation.
- 4) Stormwater is appropriately managed and disposed of from the subject land, including from roofs and sealed/paved areas to a Shire stormwater legal point of discharge, prior to occupation of the buildings, to the satisfaction of the local government. Details are to be provided with the Building Permit application. The stormwater facilities provided in accordance with this condition shall be permanently maintained in an operative condition to the satisfaction of the local government.
- 5) The area between the motel units and Spring Street to be landscaped in accordance with a Landscaping Plan to be submitted for approval by the local government. The landscaping is to be undertaken prior to occupation. Following this, the landscaping is appropriately maintained to the satisfaction of the local government.
- 6) The operator is to ensure that noise levels from the motel units are considerate of adjoining/nearby properties and are to be especially low in volume between 9.00pm and 8.00am.

Advice Notes:

- A) *This is not a Building Permit. A Building Permit must be obtained before any building works commence.*
- B) *No parking of patron's vehicles is permitted on the road verge or adjoining land.*
- C) *The property is within the 'trigger distance' of freight traffic noise from Albany Highway as set out in State Planning Policy 5.4 Road and Rail Noise. The applicant is encouraged to review 'quiet house' principles to reduce noise impacts on guests.*
- D) *A Demolition Permit may be required to be obtained prior to any sheds or structures being removed to facilitate the development.*
- E) *If the applicant or owner is aggrieved by this determination, there is a right of review by the State Administrative Tribunal in accordance with the Planning and Development Act 2005 Part 14. An application must be made within 28 days of the determination.*

CARRIED 5/0

Cr Wieringa re-entered the meeting at 3.14pm.

9.5 KEY PILLAR 5 – ‘DIGITAL’ REPORTS

Nil

10 APPLICATIONS FOR LEAVE OF ABSENCE

Nil

11 MOTIONS OF WHICH PREVIOUS NOTICE HAS BEEN GIVEN

Nil

12 QUESTIONS FROM MEMBERS WITHOUT NOTICE

Nil

13 NEW BUSINESS OF AN URGENT NATURE INTRODUCED BY DECISION OF THE MEETING

Ordinary Meeting 16 November 2021

Item 10.2 – Pavement Re-Surface Request 122 and 124 Albany Highway

‘Moved Cr Gale

Seconded Cr P Webb

That Council does/does not approve a request from Parminder Singh and Kellie Jane Bowey to re-surface the pavers between the shop fronts and kerbing at 122 and 124 Albany Highway, Kojonup using the products the proponents have proposed, as a one off trial, dependent on the following conditions if approved:

a) the contractor engaged to undertake the pavement re-surfacing is suitably qualified, experienced and insured, and completes the Shire of Kojonup’s (Shire) Work Health and Safety documentation requirements for contractors;

b) the contractor must obtain any permission required from Main Roads WA if encroaching on the Albany Highway road surface (signage etc) and provide the Shire with written proof of this permission;

c) the contractor must obtain permission from the neighbouring landowners if there is to be any encroachment on a neighbour’s property, as a result of any part of the re-surfacing process, and provide the Shire with written proof of this permission;

d) that the proponent is advised that this action is at the proponents’ total cost but the Shire may change the streetscape at any stage with no compensation to the proponents for their expense; and

e) that the proponent is advised that if the product does not meet standards or specifications (at the Shire’s discretion), the Shire may require the proponents to pay any cost of rectification.

LAPSED

126/21 Moved Cr Gale

Seconded Cr Wieringa

That Council lay this matter on the table.

CARRIED 7/0’

This item is to be researched further and re-presented to Council.

14 MEETING CLOSED TO THE PUBLIC

14.1 MATTERS FOR WHICH THE MEETING MAY BE CLOSED

14.1.1 LEASE OF 143 ALBANY HIGHWAY, KOJONUP

AUTHOR	Grant Thompson – Chief Executive Officer
DATE	Wednesday, 11 May 2022
FILE NO	CP.LEA.1

STATUTORY REQUIREMENTS

Section 5.23(2) of the Local Government Act 1995 permits the Council to close a meeting, or part of a meeting, to members of the public if the meeting deals with any of the following:

- (a) a matter affecting an employee or employees; and
- (b) the personal affairs of any person; and
- (c) a contract entered into, or which may be entered into, by the local government and which relates to a matter to be discussed at the meeting; and
- (d) legal advice obtained, or which may be obtained, by the local government and which relates to a matter to be discussed at the meeting; and
- (e) a matter that if disclosed, would reveal —
 - (i) a trade secret; or
 - (ii) information that has a commercial value to a person; or
 - (iii) information about the business, professional, commercial or financial affairs of a person, where the trade secret or information is held by, or is about, a person other than the local government; and
- (f) a matter that if disclosed, could be reasonably expected to —
 - (i) impair the effectiveness of any lawful method or procedure for preventing, detecting, investigating or dealing with any contravention or possible contravention of the law; or
 - (ii) endanger the security of the local government's property; or
 - (iii) prejudice the maintenance or enforcement of a lawful measure for protecting public safety; and
- (g) information which is the subject of a direction given under section 23(1a) of the *Parliamentary Commissioner Act 1971*.

Subsection (3) requires a decision to close a meeting, or part of a meeting and the reason for the decision to be recorded in the minutes.

PROCEDURAL MOTION

44/22 Moved Cr Gale

Seconded Cr Singh

That the meeting proceed behind closed doors in accordance with Section 5.23(2) (e) of the *Local Government Act 1995* at 3.15pm.

CARRIED 6/0

Cr Singh declared a financial interest and left the meeting at 3.15pm.

The Manager Corporate and Community Services and the Manager Regulatory Services left the meeting at 3.15pm.

PROCEDURAL MOTION

46/22 Moved Cr Gale

Seconded Cr Egerton-Warburton

That the meeting be reopened to the public at 3.19pm.

CARRIED 5/0

Cr Singh returned to the meeting at 3.20pm.

14.2 PUBLIC READING OF RESOLUTIONS THAT MAY BE MADE PUBLIC

14.2.1 LEASE OF 143 ALBANY HIGHWAY, KOJONUP

OFFICER RECOMMENDATION/COUNCIL DECISION

45/22 Moved Cr Gale

Seconded Cr Egerton-Warburton

That Council:

1. proceed, in accordance with s. 3.58 of the *Local Government Act 1995*, to advertise for Expressions of Interest to dispose of property (being the Black Cockatoo Café) by way of a lease commencing 18 September 2022 or thereafter;
2. approve the Expression of Interest with conditions, as attached; and
3. believes that, in accordance with s. 3.58 (4) (c) (ii), a valuation carried out more than six (6) months before the proposed disposition of the Black Cockatoo Cafe is a true indication of the value at the time of the proposed disposition.

CARRIED 5/0

15 CLOSURE

There being no further business to discuss, the President thanked the members for their attendance and declared the meeting closed at 3.25pm.

16 ATTACHMENTS (SEPARATE)

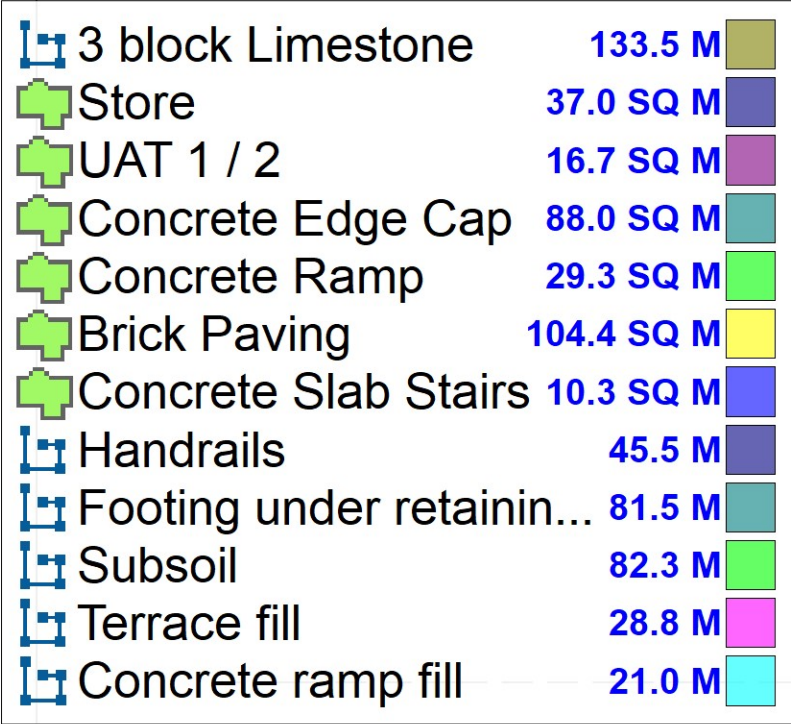
Item 6.1	6.1.1	Minutes of the Council Meeting held on 12 April 2022
Item 9.1.1	9.1.1.1	Unconfirmed LEMC Meeting Minutes - 9 May 2022
Item 9.1.2	9.1.2.1	Unconfirmed BFAC Meeting Minutes – 11 May 2022
Item 9.1.4	9.1.4.1	Business Case
	9.1.4.2	Project Management Plan
	9.1.4.3	Cost Benefit Analysis
	9.1.4.4	Operational Management Overview
	9.1.4.5	Plans
	9.1.4.6	Project Costings
Item 9.3.1	9.3.1.1	March 2022 Monthly Financial Statements
Item 9.3.2	9.3.2.1	April 2022 Monthly Financial Statements
Item 9.3.3	9.3.3.1	Monthly Payments Listing 1 to 30 April 2022
Item 9.3.4	9.3.4.1	Unconfirmed SWG Group Inaugural Meeting Minutes – 22 March 2022
Item 9.3.5	9.3.5.1	SWG – Terms of Reference
	9.3.5.2	Correspondence – Jill Mathwin
	9.3.5.3	Correspondence – Kevin Broom
Item 9.4.1	9.4.1.1	Letter of Application and Plans – P & F Webb – 72 Albany Highway
	9.4.1.2	Landgate map – 72 Albany Highway
	9.4.1.3	Extract from <i>Planning and Development (Local Planning Scheme) Regulations 2015</i>

Item	Quantity	Unit	Rate	Total
Preliminaries				
Mobilisation	1	Item	\$ 4,520.00	\$ 4,520.00
Demobilistaion	1	Item	\$ 2,720.00	\$ 2,720.00
Supervision, Site Meetings, Mamagement	1	Item	\$ 1,875.00	\$ 1,875.00
Survey	1	Item	\$ 7,500.00	\$ 7,500.00
Accommodation and Meals	1	Item	\$ 8,500.00	\$ 8,500.00
BCITF	1	Item	\$ 382.72	\$ 382.72
DBYD pothole services	1	Item	\$ 550.00	\$ 550.00
Temporary Fencing	1	Item	\$ 850.00	\$ 850.00
				\$ -
Built up Area				\$ -
Clear and Prepare Site	1	Item	\$ 475.00	\$ 475.00
Excavate Foundation Footing	82	Lm	\$ 24.76	\$ 2,030.00
Cast insitu concrete foundation 750mm x 350mm with L8TM5 Trench Mesh 25mpa Concrete	82.0	Lm	\$ 123.51	\$ 10,127.70
Limestone Block Wall Built up Area 3 blocks high 350 X 350 X 1m	82	Lm	\$ 221.35	\$ 18,150.40
Subsoil Drain 100mm Slotted Pipe in Sock	82	Lm	\$ 52.10	\$ 4,272.20
Sand Fill to Built up Area Spread and Compact (no allowance for testing)	189	m2	\$ 59.66	\$ 11,275.00
Limestone Block Wall to Terrace, Planter Box and Ramp 3 and 1 Block High Sections, 3500 x 350 x 1m Blocks	70	Lm	\$ 198.52	\$ 13,896.40
Sand Fill to Terrace and Ramp	1	Item	\$ 1,470.00	\$ 1,470.00
Concrete Edge Cap to Terrace Top Only using L8TM6 trench mesh 25mpa Concretewith Galvinised Starter Bars into Limestone Blocks	88	m2	\$ 172.40	\$ 15,171.20
Concrete Ramp 100mm Thick 25mpa Concrete with F62 mesh egde thickening for handrail mounting	29.3	m2	\$ 86.00	\$ 2,519.80
UAT Slab 100mm Thick 25mpa Concrete with F62 mesh 300mm Thickenings	16.7	m2	\$ 86.00	\$ 1,436.20
Store Slab 100mm Thick 25mpa Concrete with F62 mesh 300mm Thickenings	37	m2	\$ 86.00	\$ 3,182.00

Stair Slabs 100mm Thick 25mpa Concrete with F62 mesh	10.3	m2	\$ 86.00	\$ 885.80
Hand Rails for Ramp Moddex AR20	46	Lm	\$ 245.00	\$ 11,270.00
Carpark				\$ -
Subgrade Prep Box Out and Remove Spoil 200mm below FL	196	m2	\$ 16.07	\$ 3,150.00
Gravel Base Course to Carparking Bays (no allowance for compaction testing)	196	m2	\$ 50.63	\$ 9,924.20
30mm Asphalt AC10 to crossover and car Parking bays including 7mm primer seal	212	m2	\$ 80.30	\$ 17,023.60
Semi Mountable or Barrier Kerb to Carbays and Crossover	66	Lm	\$ 35.80	\$ 2,362.80
Line Marking and Disabled Bay	1	Item	\$ 1,160.00	\$ 1,160.00
Paving Heratiage Red (Midland Heavy Duty Red) 60mm paver Herring Bone Patern	105	m2	\$ 73.00	\$ 7,665.00
Contingency for works not accounted for costs to be agreed to prior to claiming	1	Item	\$ 10,000.00	\$ 10,000.00
		Total Ex GST		\$ 173,962.30
Notes:				
No Allowance for the supply of water onsite services assumed				
No Allowance for toilet or office facilities				
No Allowance for material testing				

Item	Quantity	Unit	Rate inc GST	Total inc GST
Preliminaries				
Mobilisation	1	Item	\$ 4,972.00	\$ 4,972.00
Demobilistaion	1	Item	\$ 2,992.00	\$ 2,992.00
Supervision, Site Meetings, Mamagement	1	Item	\$ 2,062.00	\$ 2,062.00
Survey	1	Item	\$ 8,250.00	\$ 8,250.00
Accommodation and Meals	1	Item	\$ 9,350.00	\$ 9,350.00
BCITF	1	Item	\$ 776.70	\$ 776.70
DBYD pothole services	1	Item	\$ 605.00	\$ 605.00
Temporary Fencing	1	Item	\$ 935.00	\$ 935.00
Built up Area				
Clear and Prepare Site	1	Item	\$ 522.50	\$ 522.50
Excavate Foundation Footing	152	Lm	\$ 26.99	\$ 4,102.48
Cast insitu concrete foundation 1410mm x 250mm with SL81 Mesh 25mpa Concrete	31.0	Lm	\$ 229.01	\$ 7,099.31
Limestone Block Wall Type 1	387	Blocks	\$ 97.90	\$ 37,887.30
Limestone Block Wall Type 2	422	Blocks	\$ 97.90	\$ 41,313.80
Limestone Block Wall to Terraces planter box and ramp	424	Blocks	\$ 97.90	\$ 41,509.60
Subsoil Drain 100mm Slotted Pipe in Sock	60	Lm	\$ 51.33	\$ 3,079.80
Sand Fill to Built up Area Spread and Compact (no allowance for testing)	189	m2	\$ 65.62	\$ 12,402.18
Sand Fill to Terrace and Ramp	1	Item	\$ 1,617.00	\$ 1,617.00
Install drainage sumps to terrace as per engineering detail	2	items	\$ 1,548.80	\$ 3,097.60
Concrete Edge Cap to Terrace Top Only using SL72 mesh 25mpa Grey Concrete with Galvinised Starter Bars into Limestone Blocks	80	m2	\$ 201.09	\$ 16,087.20
Concrete Ramp 100mm Thick 25 mpa grey concrete SL72 mesh egde thickening for handrail mounting	30	m2	\$ 100.76	\$ 3,022.80
Concrete Stairs to East Side 2370 wide 25mpa Grey Concrete	1	item	\$ 4,362.60	\$ 4,362.60
Concrete Stairs to West Side 1200 wide 25mpa Grey Concrete	1	item	\$ 3,955.60	\$ 3,955.60
Concrete Stairs to South Side 1800 wide 25mpa Grey concrete	1	item	\$ 4,199.80	\$ 4,199.80

Galvinised Hand Rails for Ramp Moddex AR20	46	Lm	\$ 269.50	\$ 12,397.00
Galvinised Handrails to East side stairs Moddex AR150	1	item	\$ 2,080.23	\$ 2,080.23
Galvinised Handrails to West side stairs AR150	1	item	\$ 1,067.62	\$ 1,067.62
Galvinised Handrails to south side stairs AR10	1	item	\$ 1,638.31	\$ 1,638.31
Carpark				
Subgrade Prep Box Out and Remove Spoil 200mm below FL	166	m2	\$ 20.87	\$ 3,464.42
Gravel Base Course to Carparking Bays (no allowance for compaction testing)	166	m2	\$ 40.19	\$ 6,671.54
30mm Asphalt AC10 to crossover and car Parking bays including 7mm primer seal	212	m2	\$ 88.33	\$ 18,725.96
Semi Mountable or Barrier Kerb to Carbays and Crossover	76	Lm	\$ 39.38	\$ 2,992.88
Line Marking and Disabled Bay	1	Item	\$ 2,013.00	\$ 2,013.00
Paving / Exposed aggregate areas				
Paving Heratiage Red (Midland Heavy Duty Red) 60mm paver Herring Bone Patern to Terrace	96	m2	\$ 80.30	\$ 7,708.80
Paving Heratiage Red (Midland Heavy Duty Red) 60mm paver Herring Bone Patern to lower level	86	m2	\$ 80.30	Rate only
Exposed Aggregate Concrete to community area	316	m2	\$ 162.80	Rate only
Sealing of exposed aggregate concrete	316	m2	\$ 17.60	Rate only
Contingency for works not accounted for costs to be agreed to prior to claiming	0	Item	\$ 10,000.00	
		Total Inc GST		\$ 272,962.03
Notes:				
No Allowance for the supply of water onsite services assumed				
No Allowance for toilet or office facilities				
No Allowance for material testing				



JOB
Amenity Upgrade
Harrison Place, Kojonup WA 6395
CLIENT
Shire of Kojonup

**holmes
architects**

48 Stirling Tce
albany wa 6330
p: (08) 9847 4469
m: 0422 956 161
e: admin@hsh.net.au

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JOB NO. A1229	CATG. NO.	SHEET NO. A19	REV. NO. F



Southwest Civil Services Pty Ltd

2885 Caves Road
Yallingup WA 6282
Australia

Phone: 0419834355
admin@swcivilwa.com.au
ABN: 24 138 767 761

Quote: 0048

Quote

Quote date: 03/06/2022

Bill to:

Shire of Kojonup
93 Albany Highway
Kojonup WA 6395
Australia

Expiry:

03/07/2022

DESCRIPTION	TAX TYPE	AMOUNT (ex GST)
Install 240m2 of heritage red brick paving (Midland Pavestone Product) @ \$94.00 per m2 price includes freight, removal of spoil and replacing with clean sand fill for paving	GST	22,560.00
Remove existing tree	GST	560.00
Replace existing Kerb to garden bed with limestone blocks along side hall	GST	1,290.00
Excavate and remove spoil for grassed area 300mm deep (Bitumen and Gravel) to allow for shire supplied soil to be placed	GST	2,600.00

Sub-Total (ex GST): \$27,010.00

GST: \$2,701.00

TOTAL (inc GST): \$29,711.00

Notes

Sheet List			
Sheet Number	Sheet Name	Current Revision	Current Revision Date
A00	Cover	F	30/07/2021
A01	Site Plan	F	30/07/2021
A04	Floor Plan	F	30/07/2021
A05	Elevations	F	30/07/2021
A06	Section A	F	30/07/2021
A07	Section B	F	30/07/2021
A08	Section C	F	30/07/2021
A15	3D Visualizations	F	30/07/2021
A19	Foundation Plan	F	30/07/2021
A20	Foundation - Sections	F	30/07/2021



ARCHITECTURAL DRAWINGS

PROJECT STAGE

Design Development

JOB

Amenity Upgrade
Harrison Place, Kojonup WA 6395

JOB NO.

A1229

CLIENT

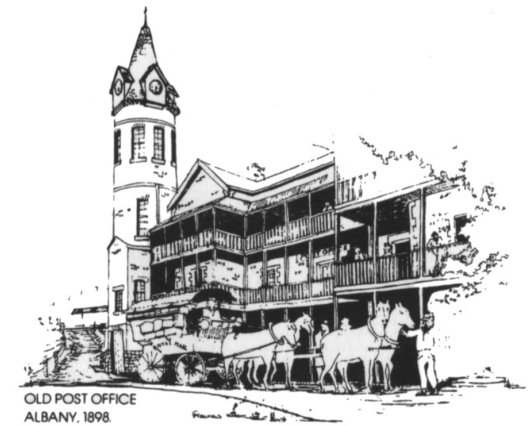
Shire of Kojonup

REV NO.

F

DATE

30/07/2021



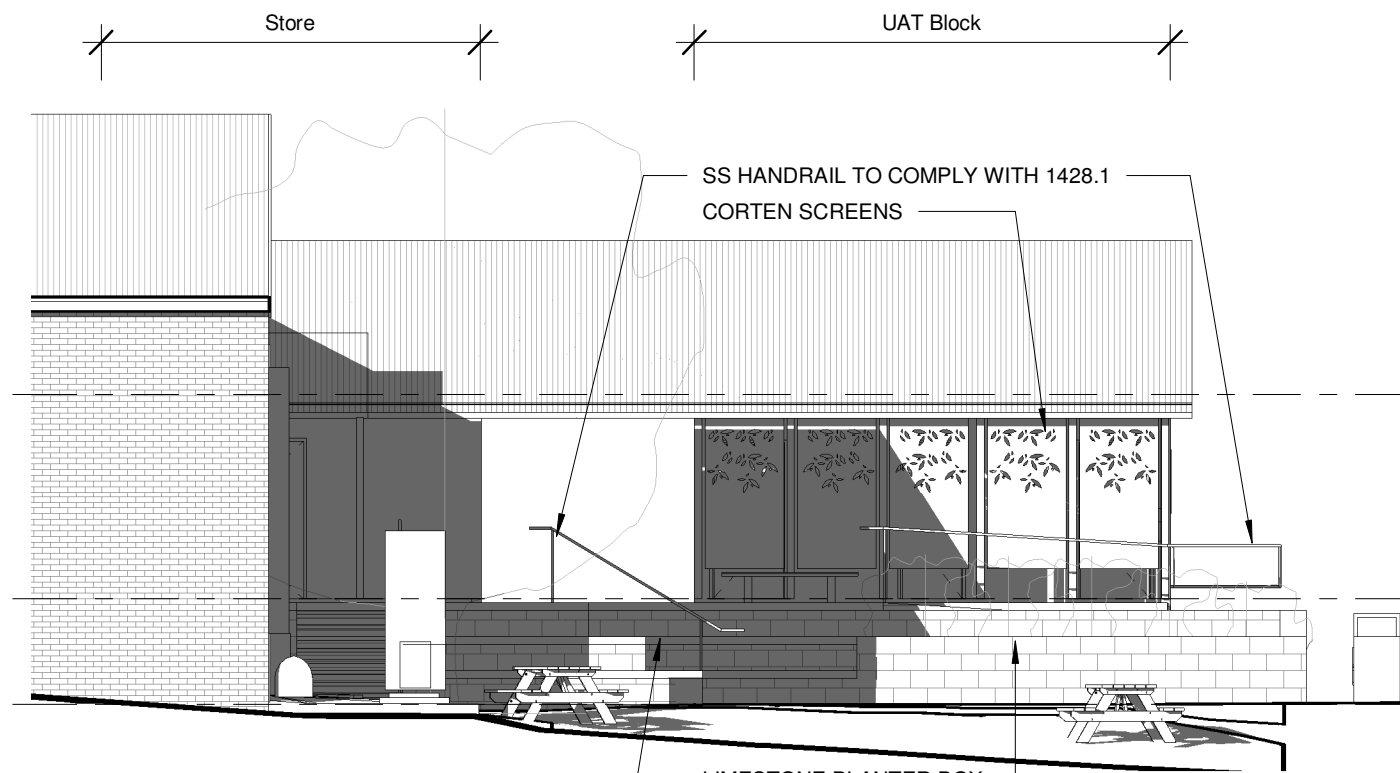


JOB
Amenity Upgrade
Harrison Place, Kojonup WA 6395
CLIENT
Shire of Kojonup

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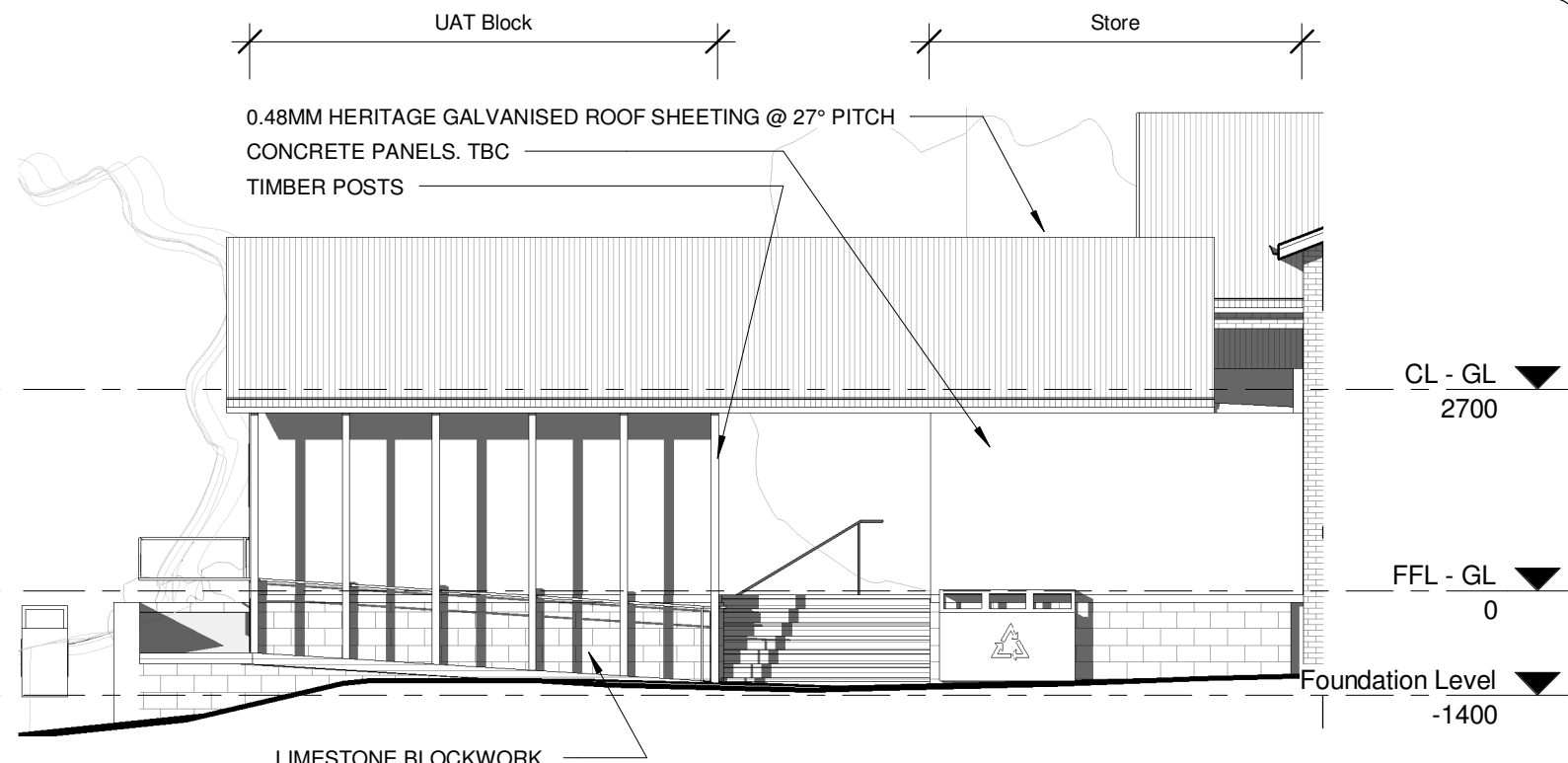
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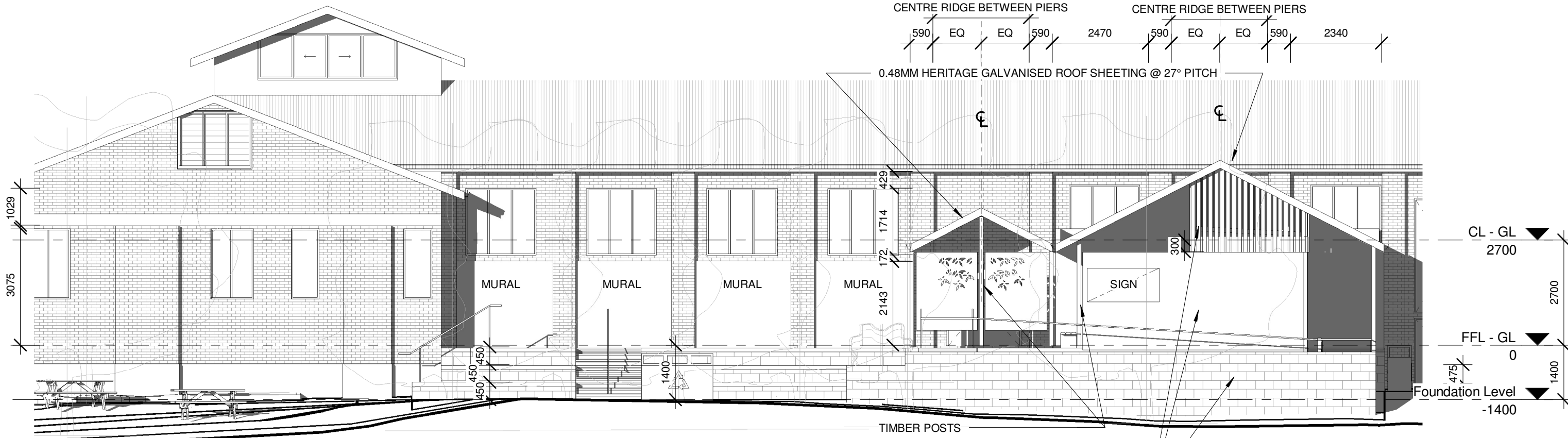
1 West Elevation

1 : 100



2 East Elevation

1 : 100



3 South Elevation

1 : 100

Issued to	Date	No.	Description
Engenuity	30/07/2021	F	Civil Engineering
Shire of Kojoonup	29/07/2021	E	Planning Application
Quoting	20/07/2021	D	Updated UAT - Quoting
QS, Geo, Eng	17/06/2021	B	Quoting

JOB
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Harrison Place, Kojoonup WA 6395
CLIENT
Shire of Kojoonup

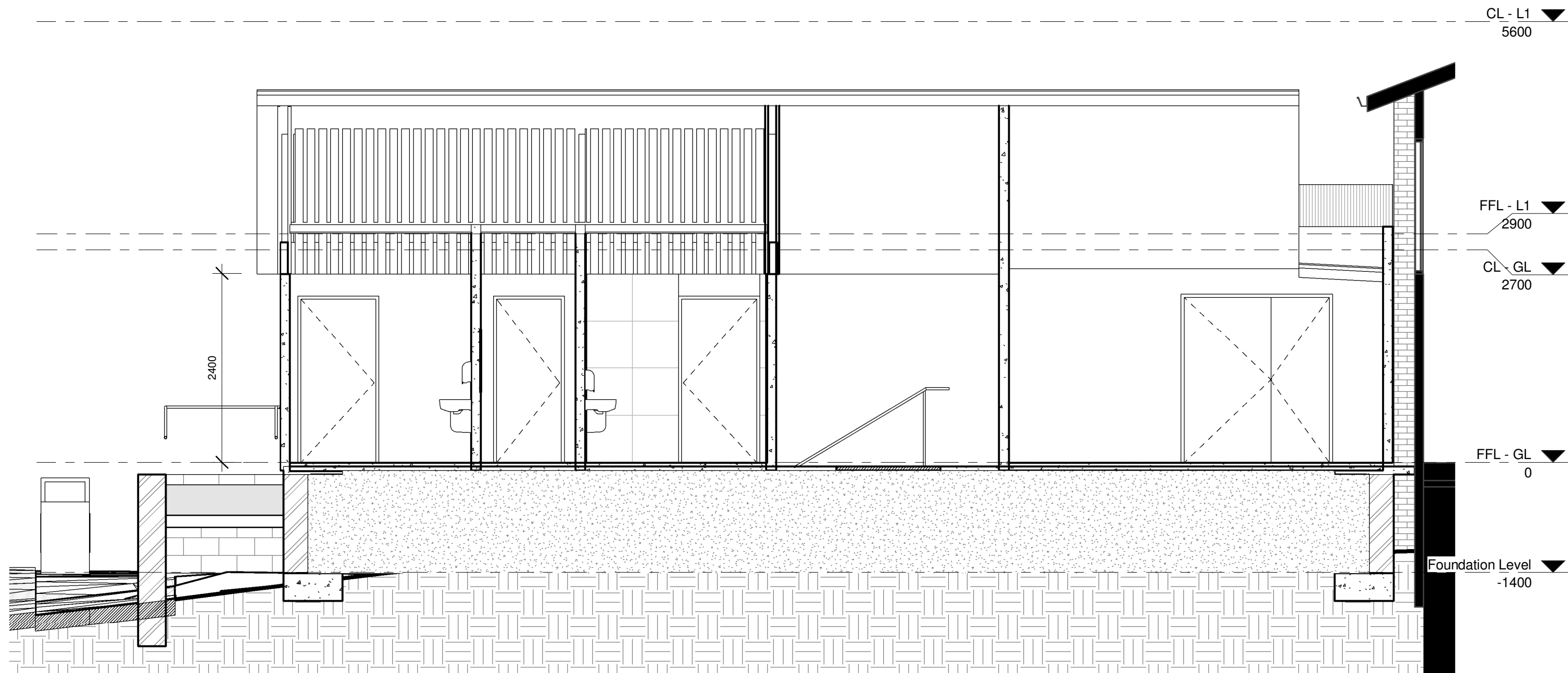
DRAWING
Design Development
Elevations

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A Section A
1 : 50

Issued to	Date	No.	Description
Engenuity	30/07/2021	F	Civil Engineering
Quoting	20/07/2021	D	Updated UAT - Quoting
QS, Geo, Eng	17/06/2021	B	Quoting
Shire of Kojonup	08/06/2021	A	Sketch Design

JOB
Amenity Upgrade
Harrison Place, Kojonup WA 6395
CLIENT
Shire of Kojonup

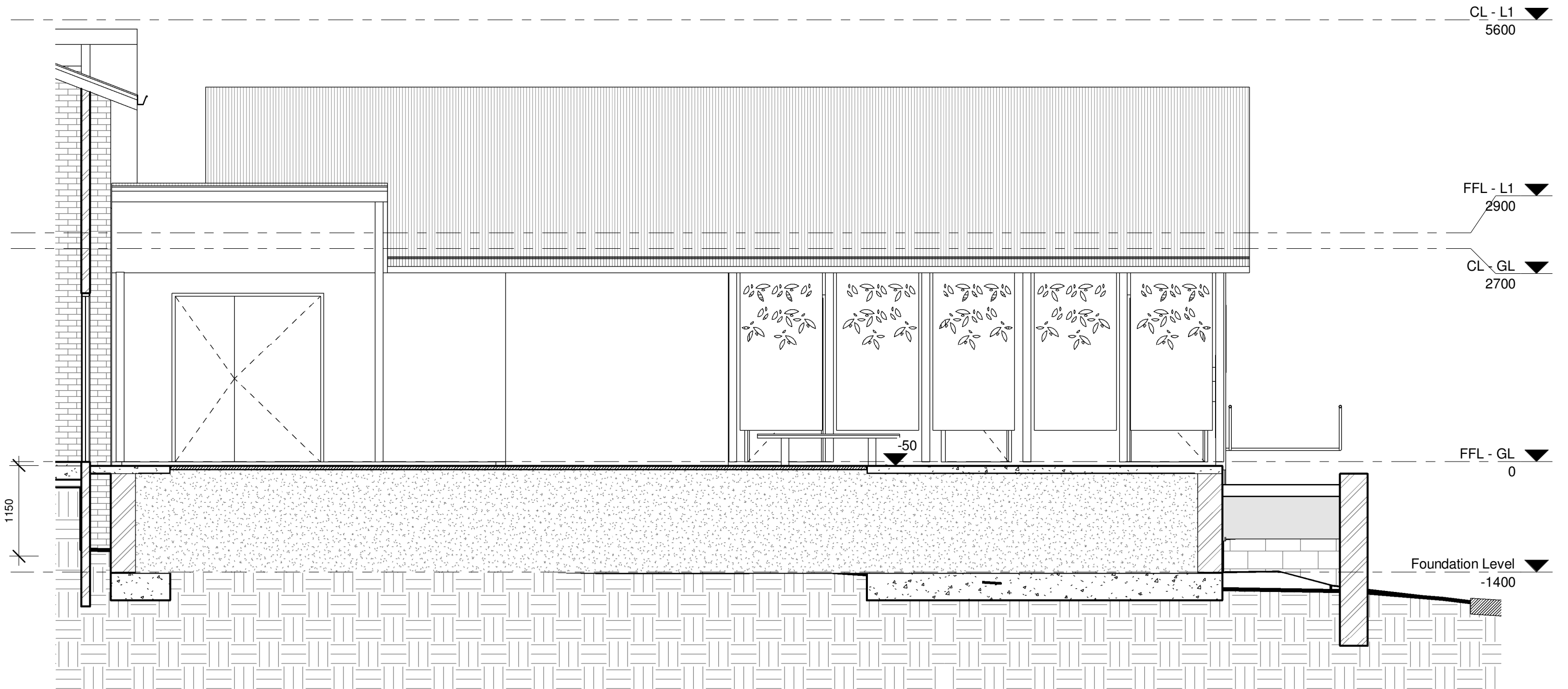
DRAWING
Design Development
Section A

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A1229		A06	F



B Section B
1 : 50

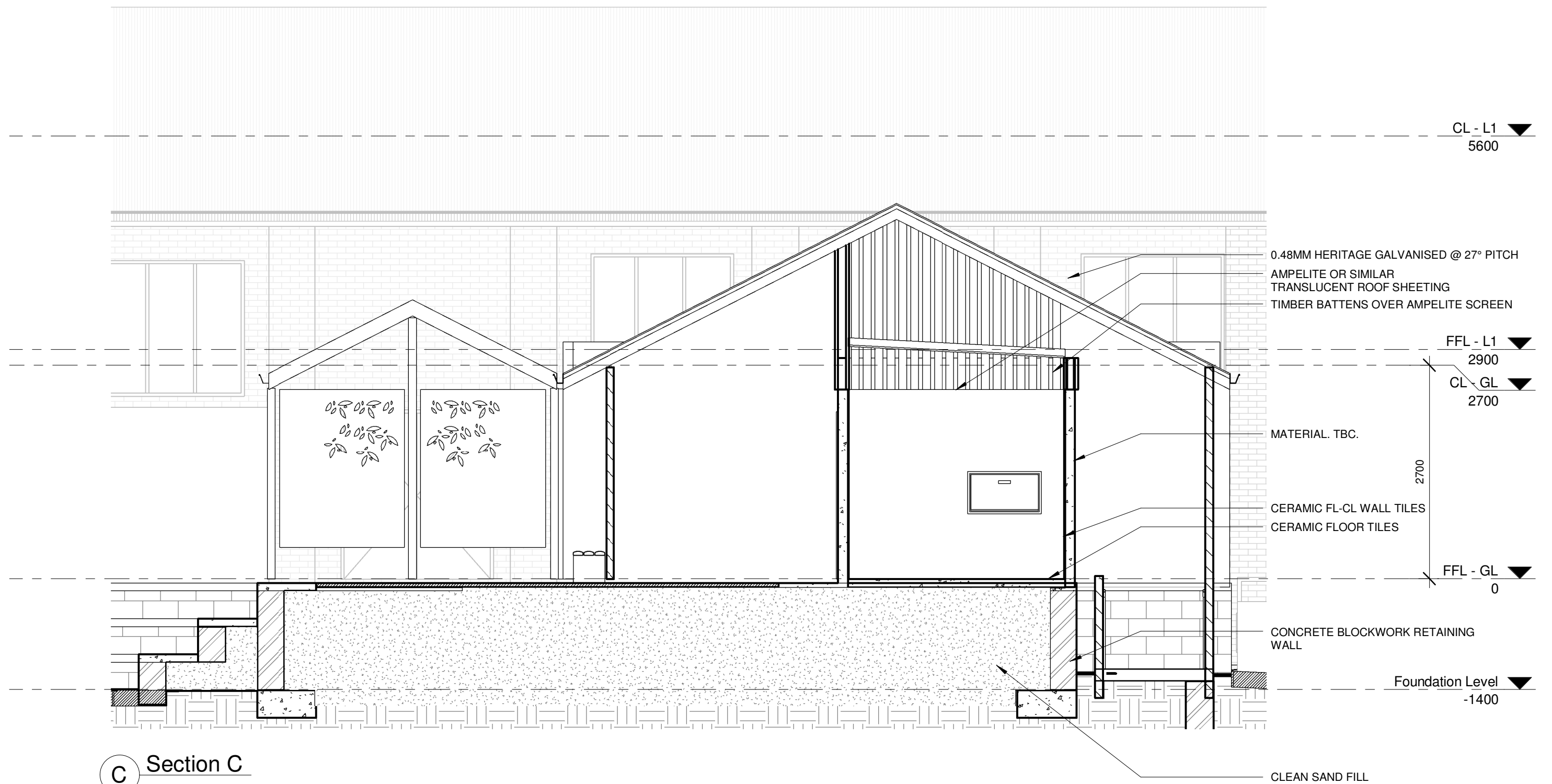
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Engenuity	30/07/2021	F	Civil Engineering
Quoting	20/07/2021	D	Updated UAT - Quoting
QS, Geo, Eng	17/06/2021	B	Quoting

JOB
Amenity Upgrade
Harrison Place, Kojonup WA 6395
CLIENT
Shire of Kojonup

DRAWING
Design Development
Section B
ALL DIMENSIONS MUST BE CHECKED ON SITE & ANY DISCREPANCY TO BE REPORTED TO THE ARCHITECTS

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JOB NO.	CATG. NO.	SHEET NO.	REV. NO.
A1229		A07	F



C Section C
1 : 50

Issued to	Date	No.	Description
Engenuity	30/07/2021	F	Civil Engineering
Quoting	20/07/2021	D	Updated UAT - Quoting
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Amenity Upgrade
Harrison Place, Kojonup WA 6395
CLIENT
Shire of Kojonup

DRAWING
Design Development
Section C

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JOB NO.	CATG. NO.	SHEET NO.	REV. NO.
A1229		A08	F



1 View from Picnic area
1 : 1



2 View from Carpark Entry
1 : 1



3 View from Terrace
1 : 1

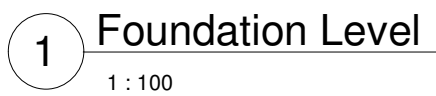
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Engenuity	30/07/2021	F	Civil Engineering
Shire of Kojonup	29/07/2021	E	Planning Application
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JOB
Amenity Upgrade
Harrison Place, Kojonup WA 6395
CLIENT
Shire of Kojonup

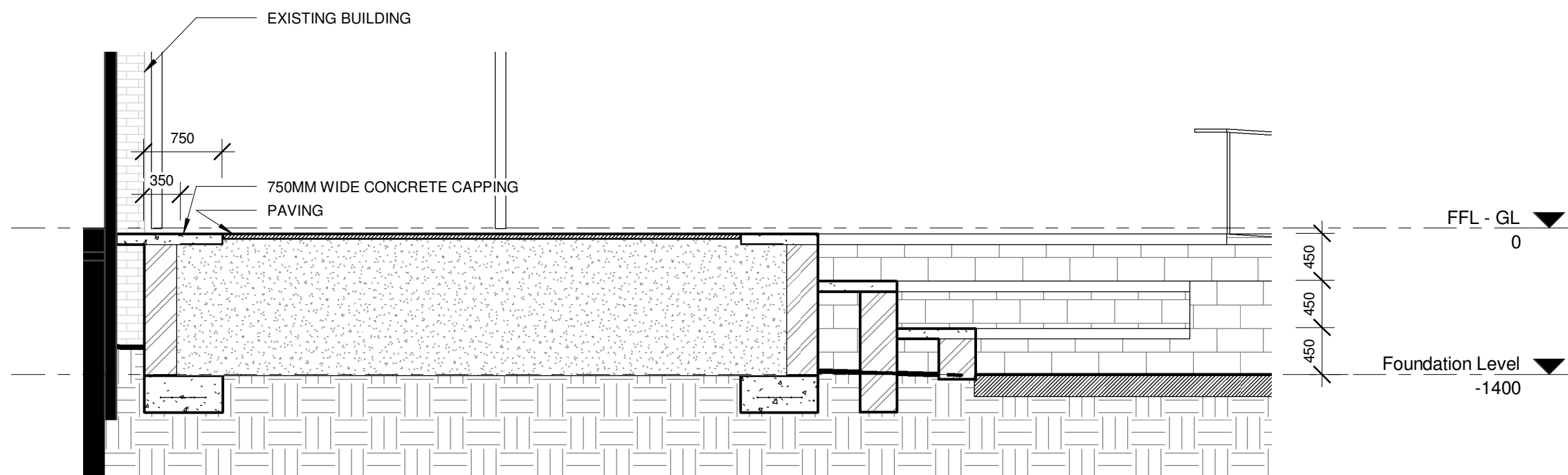
DRAWING
Design Development
3D Visualizations
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A1229		A19	F



1 Section 1
1 : 50

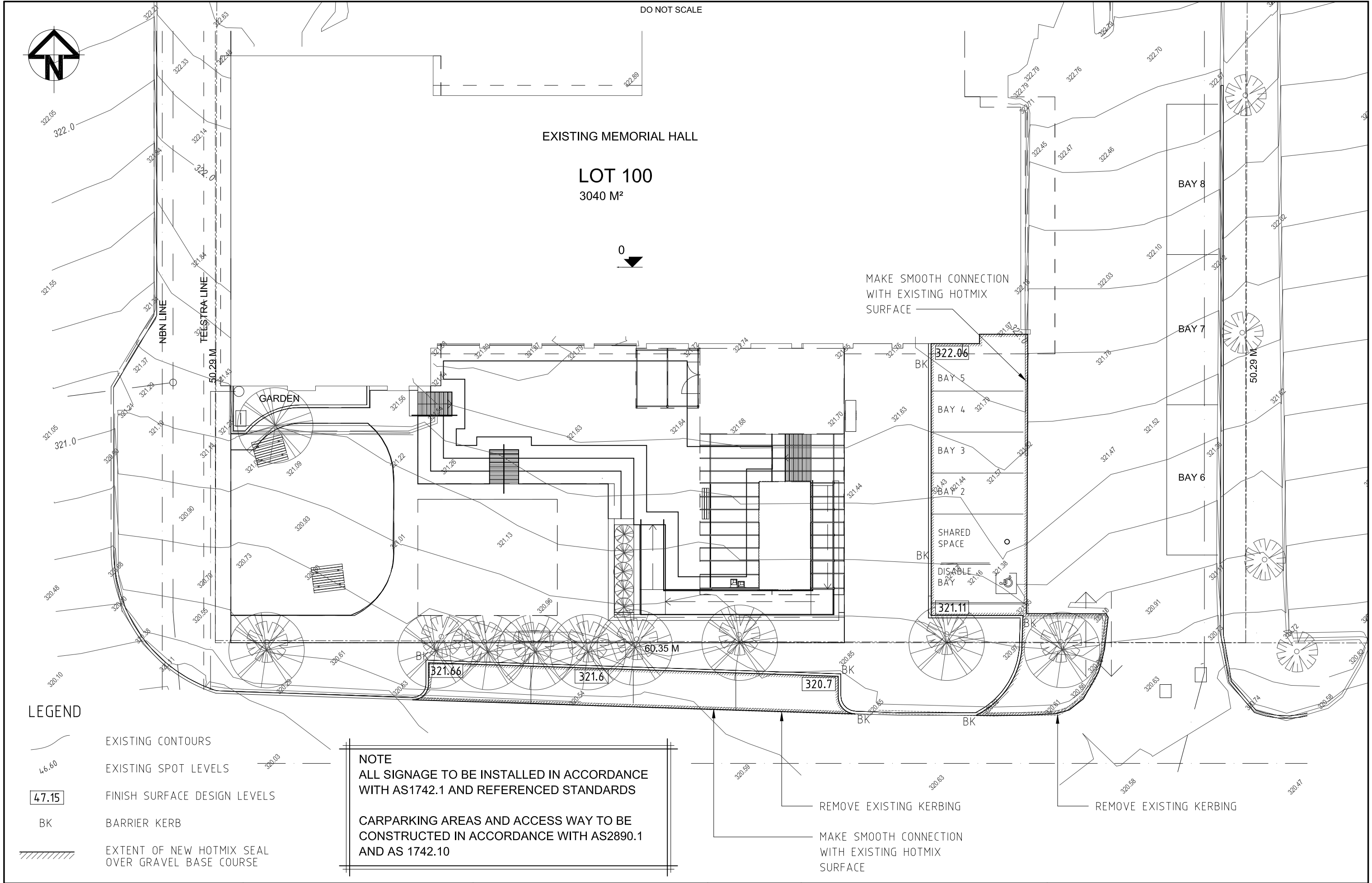
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Engenuity	30/07/2021	F	Civil Engineering
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JOB
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Harrison Place, Kojonup WA 6395
CLIENT
Shire of Kojonup

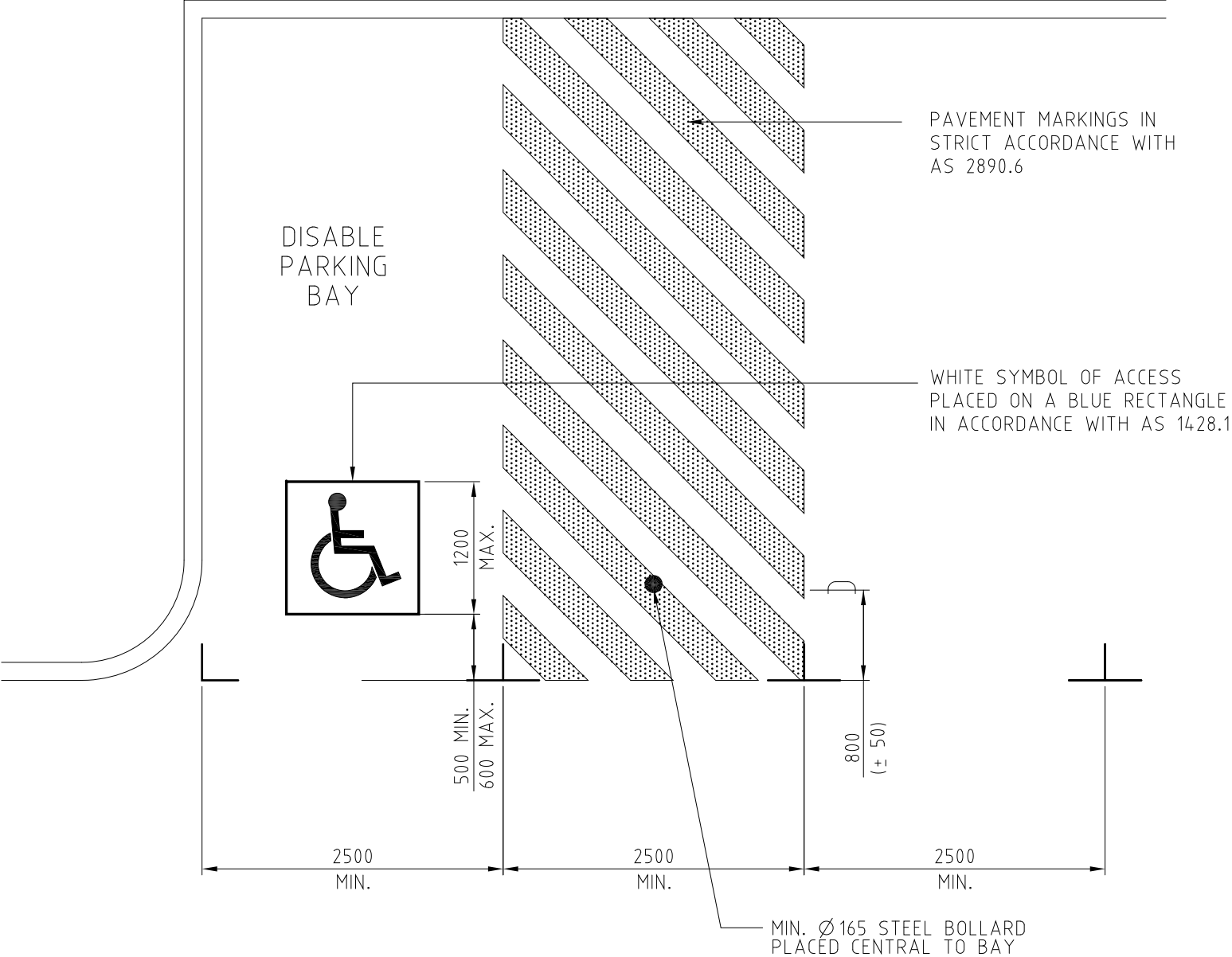
DRAWING
Design Development
Foundation - Sections
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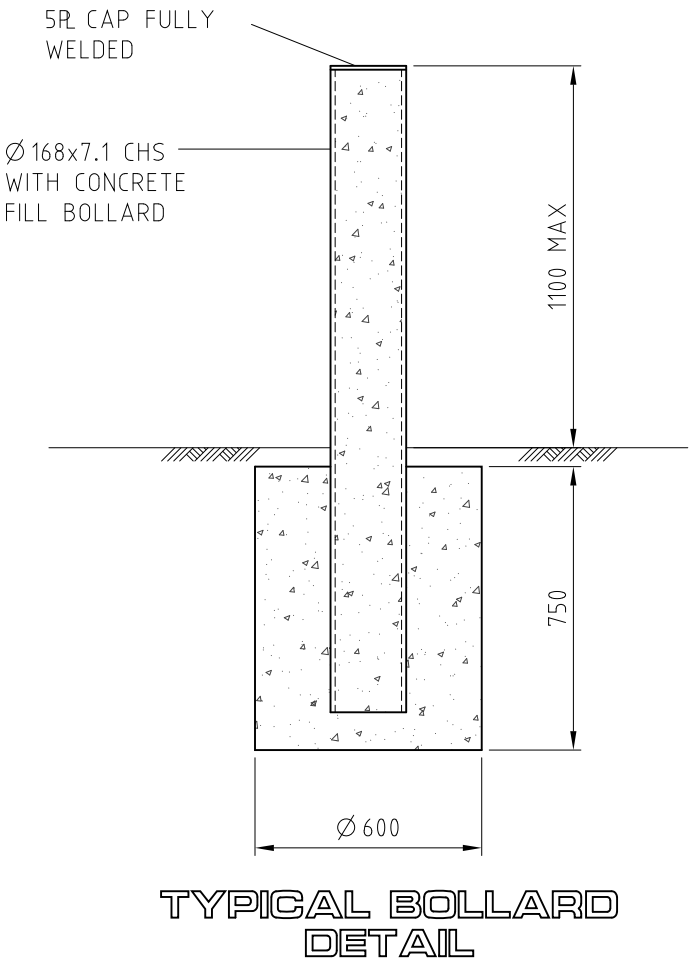
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A1229		A20	F



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TYPICAL DISABLE BAY LAYOUT PLAN



A	ISSUED FOR APPROVAL	G.S.	25/10 2021
No.	REVISION	BY	DATE

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DRAWN	G. SUCKLING
DATE	OCTOBER 2021
SCALE	1:20 ON A3
CHECKED	
APPROVED	

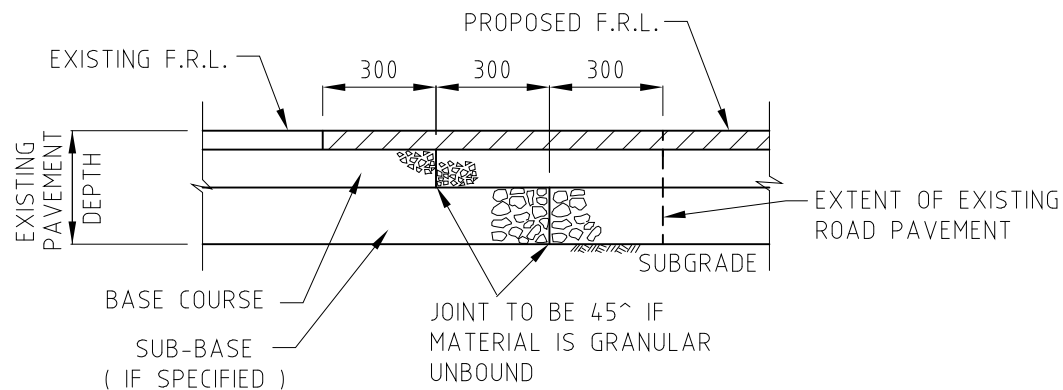


PSH ENGINEERING PTY LTD
ABN No 42 606 428 335
ACN No 606428335, T/A
Civil & Structural ENGINEERS
15 WITTENOOM STREET BUNBURY, 6230 WA
PHONE: (08) 9791 1834
FAX: (08) 9791 1857
e-mail: admin@cseng.com.au

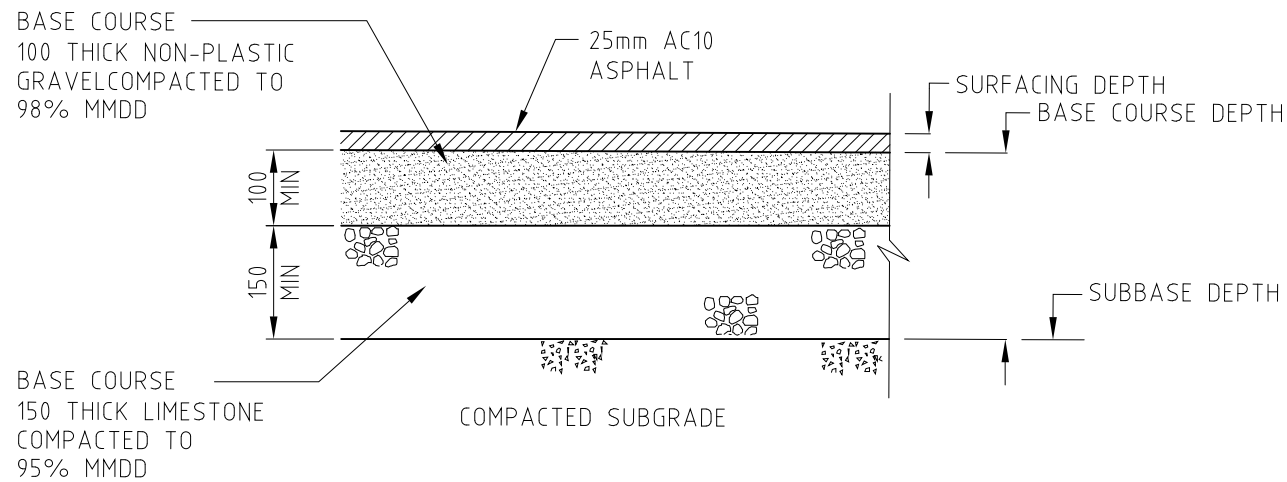
TITLE
HOLMES ARCHITECTS
PROPOSED RETAINING WALLS AT
HARRISON PLACE, KOJONUP
ROAD DETAILS

DRG. No. 2021 - 7860 - 02

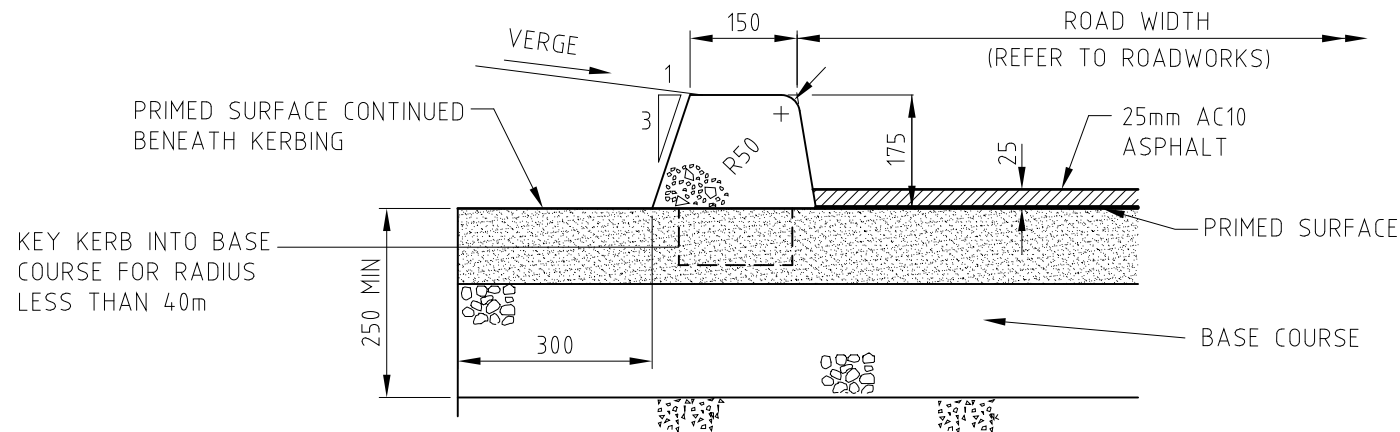
REV.
A



EXISTING/PROPOSED CONSTRUCTION JOINTING DETAIL



TYPICAL ROAD BASE CONSTRUCTION DETAIL



TYPICAL BARRIER KERB DETAIL

EXPANSION JOINTS TO BE PLACED AT 5000 CTS
AND AT 2500 CTS FOR ON CORNERS

DO NOT SCALE

GENERAL

G1 THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS, AND WITH SUCH WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. ALL DISCREPANCIES SHALL BE REFERRED TO THE SUPERINTENDENT FOR A DECISION BEFORE PROCEEDING WITH THE WORK.

G2 ALL DIMENSIONS RELEVANT TO SETTING OUT AND OFF-SITE WORK SHALL BE VERIFIED BY THE BUILDER BEFORE CONSTRUCTION IS COMMENCED. THE ENGINEERS DRAWINGS SHALL NOT BE SCALED.

G3 DURING CONSTRUCTION THE BUILDER SHALL BE RESPONSIBLE FOR MAINTAINING THE STRUCTURE IN A STABLE CONDITION AND ENSURING NO PART IS OVERSTRESSED DURING CONSTRUCTION ACTIVITIES.

G4 WORKMANSHIP AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE RELEVANT S.A.A. CODES AND THE LOCAL STATUTORY AUTHORITIES REGULATIONS INCLUDING ALL AMENDMENTS, EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS.

SUB BASE

SB1 EXISTING TO BE STRIPPED BACK TO THE UNDERSIDE OF THE BASE COURSE ENSURING REMOVAL OF ALL MATERIAL CONTAINING ORGANIC MATERIAL. CHECK WITH SUPERINTENDENT FOR SUITABILITY FOR USE IN GRASSED AND GARDEN AREAS.

SB2 BASE TO BE PROOF ROLLED WITH A MINIMUM 7 TONNE ROLLER WITH AN EQUIVALENT 4 PASSES PER SECTION IN THE PRESENCE OF THE GEOTECHNICAL ENGINEER. REFER ALL WEAK SPOTS TO THE GEOTECHNICAL ENGINEER FOR DIRECTIONS.

SB3 SUB BASE COMPACTION LEVEL TO BE EQUIVALENT TO 95% MDD AS TESTED IN ACCORDANCE WITH AS 1289, OR AS TESTED BY CALIBRATED EQUIPMENT SUITABLE FOR THE SUB BASE MATERIAL. MINIMUM TEST INTERVAL 1 TEST PER 400M2.

SB4 ALL WEAK SPOTS AND DEPRESSIONS TO BE FILLED WITH EQUIVALENT MATERIAL FROM SITE. COMPACTION REQUIREMENTS AS ABOVE.

BASE COURSE

BC1 BASE COURSE MATERIAL TO SITE SHALL BE IMPORTED GRAVEL MATERIAL TO MEET MRWA OR SHIRE OF KOJONUP SPECIFICATION.

BC2 BASE COURSE TO BE IMPORTED, CONDITIONED TO OPTIMUM MOISTURE AND COMPACTED IN LAYERS NOT EXCEEDING THE CAPACITY OF THE COMPACTION EQUIPMENT.

BC3 BASE COURSE TO BE COMPACTED TO ACHIEVE 97% OF MMDD AS TESTED IN ACCORDANCE WITH AS 1289, OR AS TESTED BY CALIBRATED EQUIPMENT SUITABLE FOR THE BASE COURSE MATERIAL. MINIMUM TEST INTERVAL 1 TEST PER 250M 2.

BC4 SEEK SHIRE APPROVAL PRIOR TO SEALING ANY AREAS WITHIN SHIRE PROPERTY OR VERGES.

BC5 SURFACE TO RECEIVE BITUMINOUS CONCRETE, TO BE PRIMER SEALED PRIOR TO ANY FINAL BITUMINOUS CONCRETE PLACEMENT, NOT TACK COATED.

BC6 PRIMER SEALED SURFACE TO RECEIVE A MINIMUM 25MM BITUMINOUS CONCRETE (ASPHALT).

DRAINAGE

D1 EXCAVATION FOR ALL DRAINAGE TO BE IN ACCORDANCE WITH WORKSAFE REQUIREMENTS TO ENSURE SAFETY OF WORKERS AND THE PUBLIC. ALL EXCAVATIONS TO BE SUITABLY BARRIERED OF FOR THE EXCLUSION OF ALL BUT THOSE INVOLVED IN THE WORK PROCESS AT HAND.

D2 INTERCONNECTING DRAINAGE PIPEWORK TO BE AS NOTED ON THE DRAWING.

D3 GROUT FOR DRAINAGE PIPE CONNECTION TO BE A PROPRIETARY EXPOXY OR CEMENTITIOUS GROUT WITH A GRADE OF 25MPA, OR STIFF SAND CEMENT OF MINIMUM 3:1 AGGREGATE TO CEMENT RATIO.

D4 SOAK WELLS AND LIDS ARE TO BE A MINIMUM 25MPA SUITABLE FOR TAFFICABLE AREAS, AND TO BE FROM AN APPROVED SUPPLIER. MINIMUM DESIGN CONDITION TO BE TO A14 TRAFFIC LOADING.

D5 BACKFILL FOR ALL DRAINAGE STRUCTURES TO BE CLEAN WELL GRADED SAND FROM AN APPROVED SOURCE.

D6 BACKFILL TO BE COMPACTED TO ACHIEVE A MINIMUM LEVEL OF COMPACTION OF 70% DENSITY INDEX AS TESTED IN ACCORDANCE WITH AS 1289, OR AS CONFIRMED BY CALIBRATED EQUIPMENT SUITABLE FOR THE MATERIAL BEING TESTED. MINIMUM TEST INTERVAL TO BE ONE TEST PER 5M OF BACKFILLED TRENCH.

GENERAL FILLING

GF1 GENERAL SITE FILLING TO BE WELL GRADED SAND FILL FROM AN APPROVED SOURCE.

GF2 FILL MATERIAL TO BE PLACED IN LAYERS SUITABLE FOR THE CHOSEN COMPACTIVE EFFORT AVAILABLE. NOTE REQUIREMENTS FOR COMPACTION IN RESIDENTIAL AREAS.

GF3 WELL GRADED SAND FILLING TO BE COMPACTED TO ACHIEVE A MINIMUM LEVEL OF COMPACTION OF 70% DENSITY INDEX AS TESTED IN ACCORDANCE WITH AS 1289, OR AS CONFIRMED BY CALIBRATED EQUIPMENT SUITABLE FOR THE MATERIAL BEING TESTED. MINIMUM TEST INTERVAL TO BE ONE TEST PER 50M 2 OF BACKFILL MATERIAL.

CONTRACTOR TO PROVIDE CERTIFIED (ENGINEER OR NATA LABORATORY) RECORDS CONFIRMING COMPLIANCE WITH THE ABOVE.

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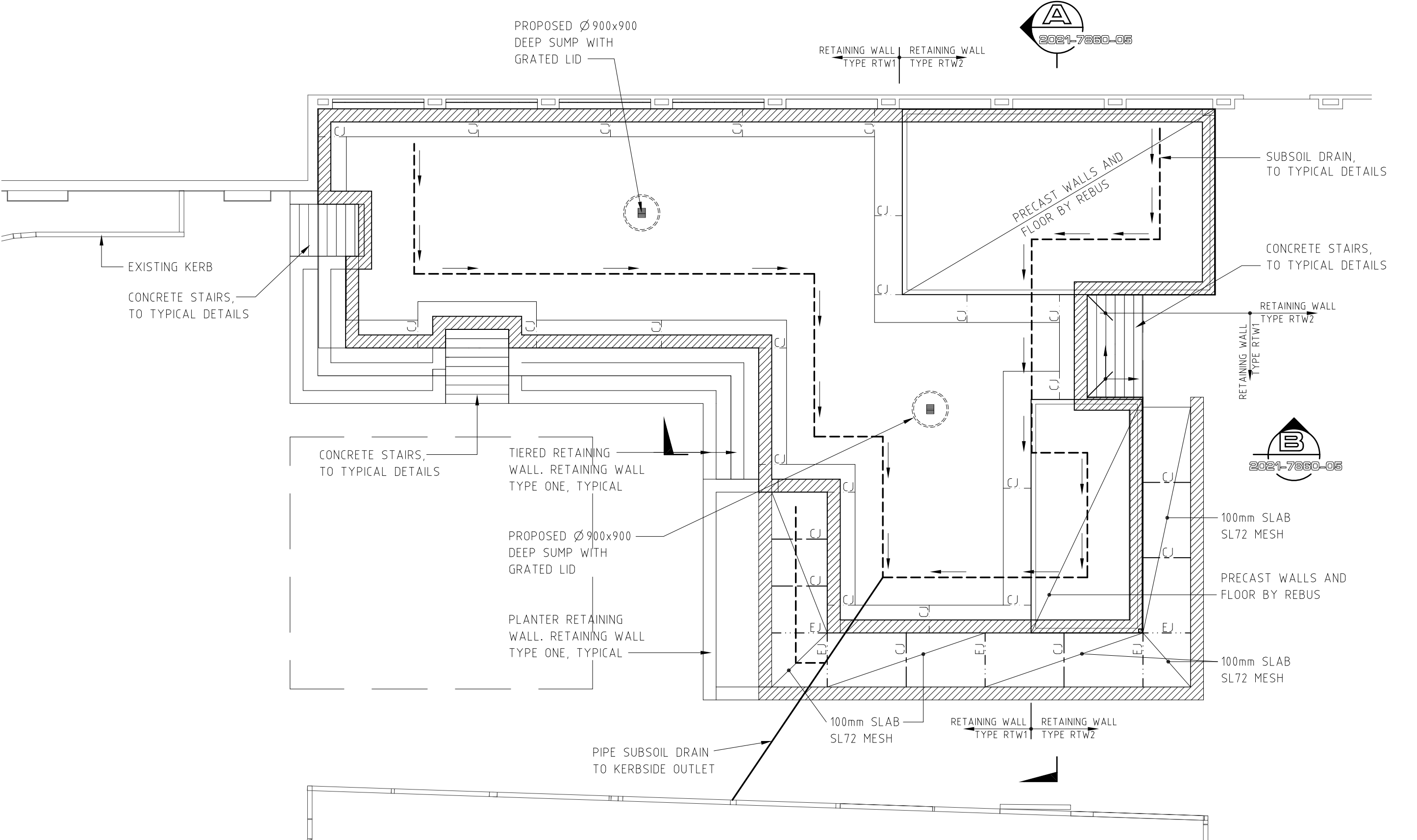
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TITLE
HOLMES ARCHITECTS
PROPOSED RETAINING WALLS AT
HARRISON PLACE, KOJONUP
ROAD DETAILS AND NOTES

DRG. No. 2021 - 7860 - 03

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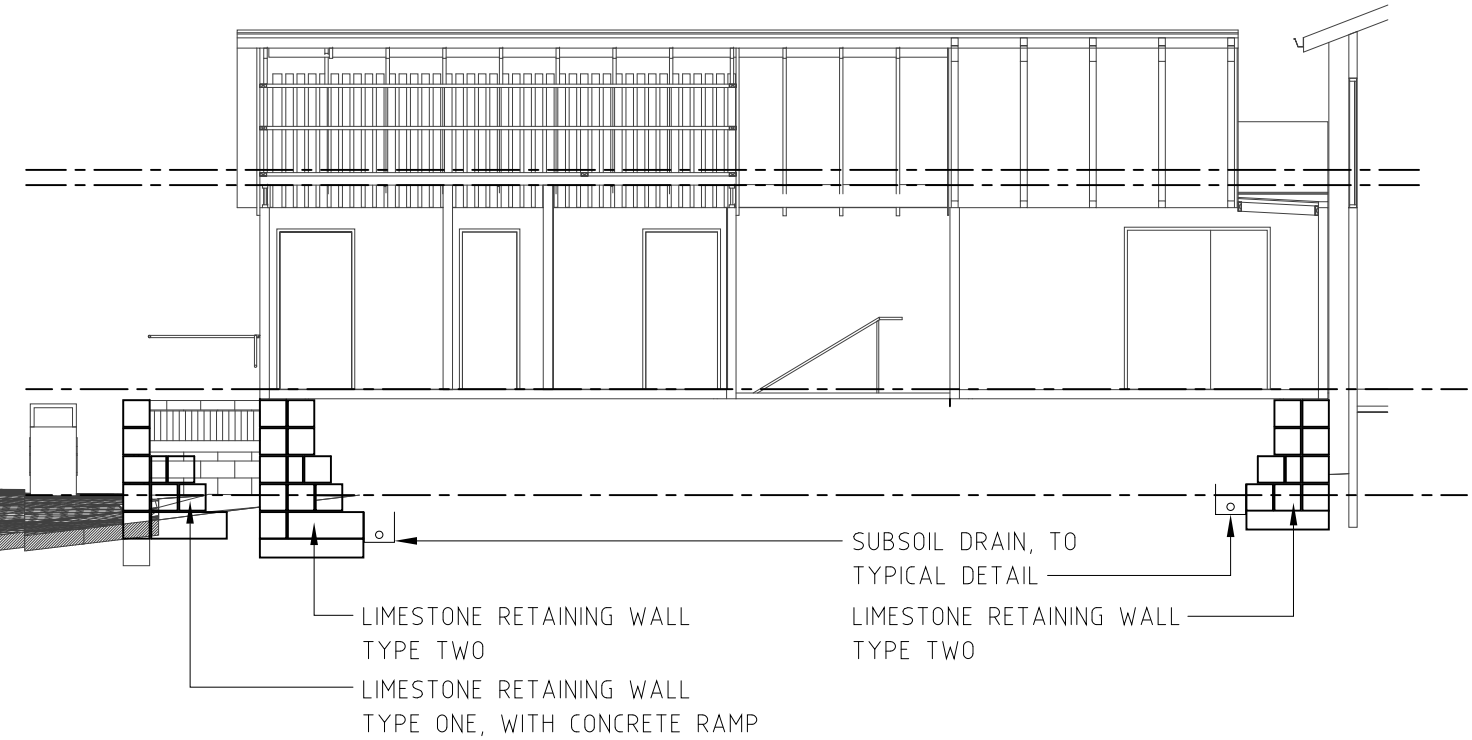
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TITLE
HOLMES ARCHITECTS
PROPOSED RETAINING WALLS AT
HARRISON PLACE, KOJONUP
RETAINING PLAN

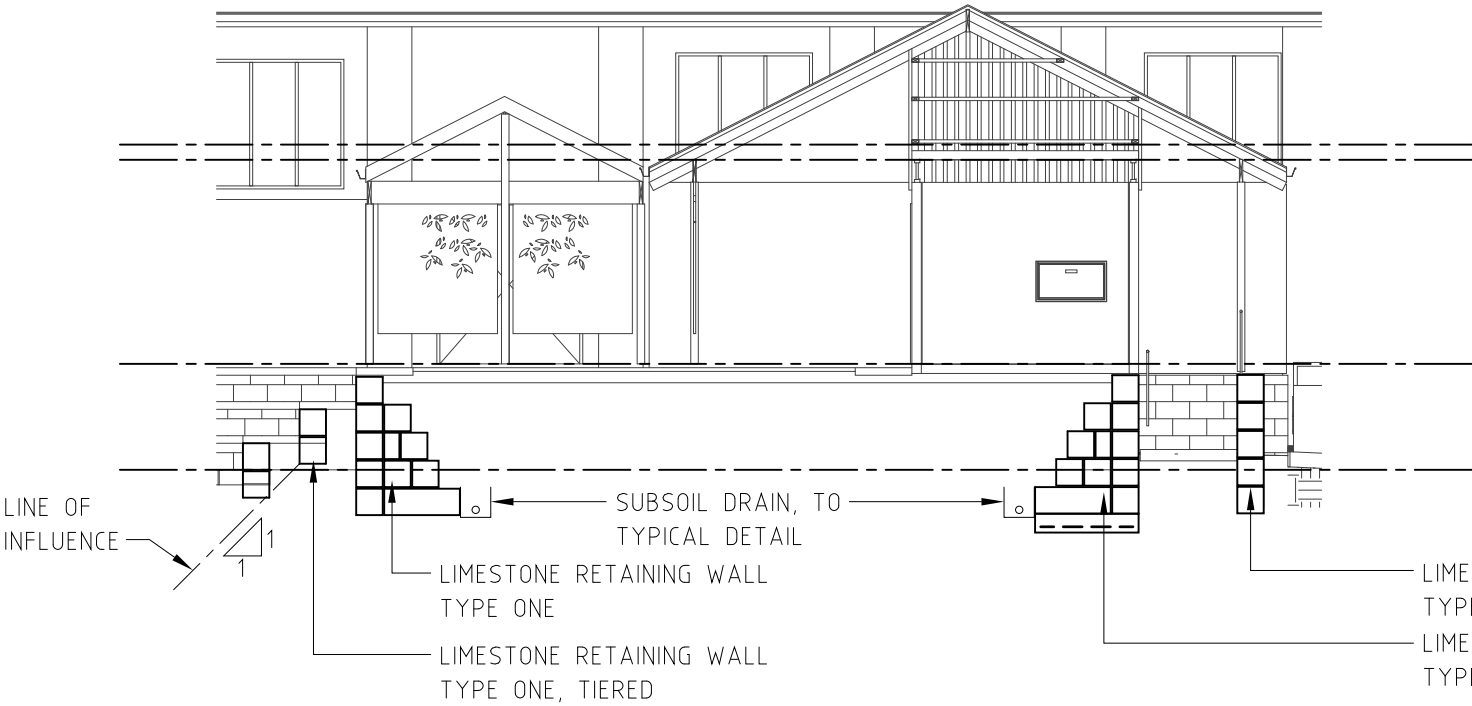
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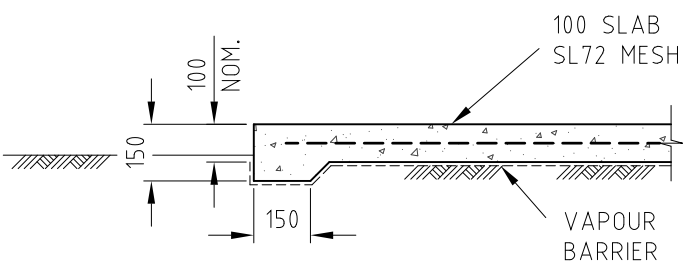
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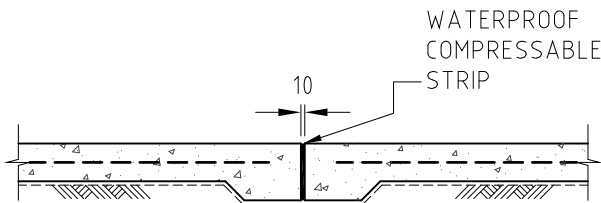
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2021-7860-04



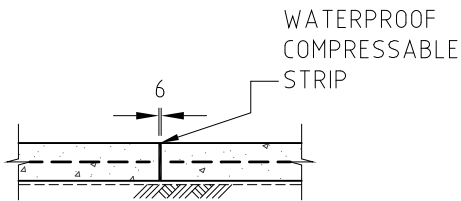
SECTION B
2021-7860-04



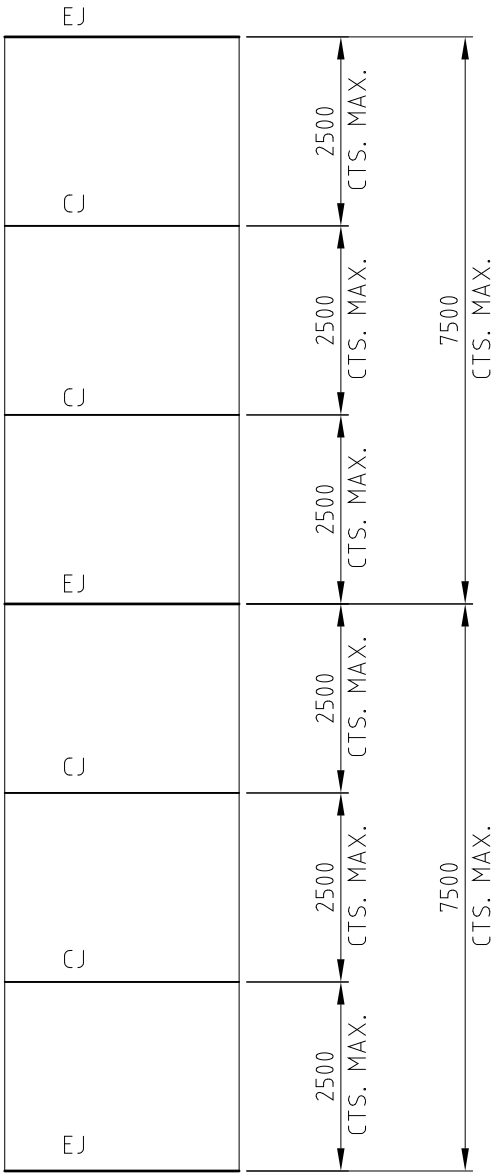
TYPICAL PATHWAY SLAB
EDGE THICKENING DETAIL



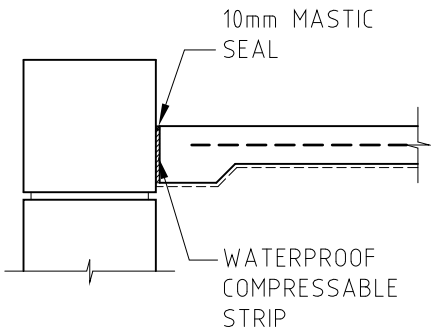
TYPICAL PATHWAY SLAB
EXPANSION JOINT DETAIL EJ



TYPICAL PATHWAY SLAB
CONTROL JOINT DETAIL CJ



TYPICAL PATHWAY PLAN



TYPICAL PATHWAY RAMP
TO RETAINING WALL DETAIL

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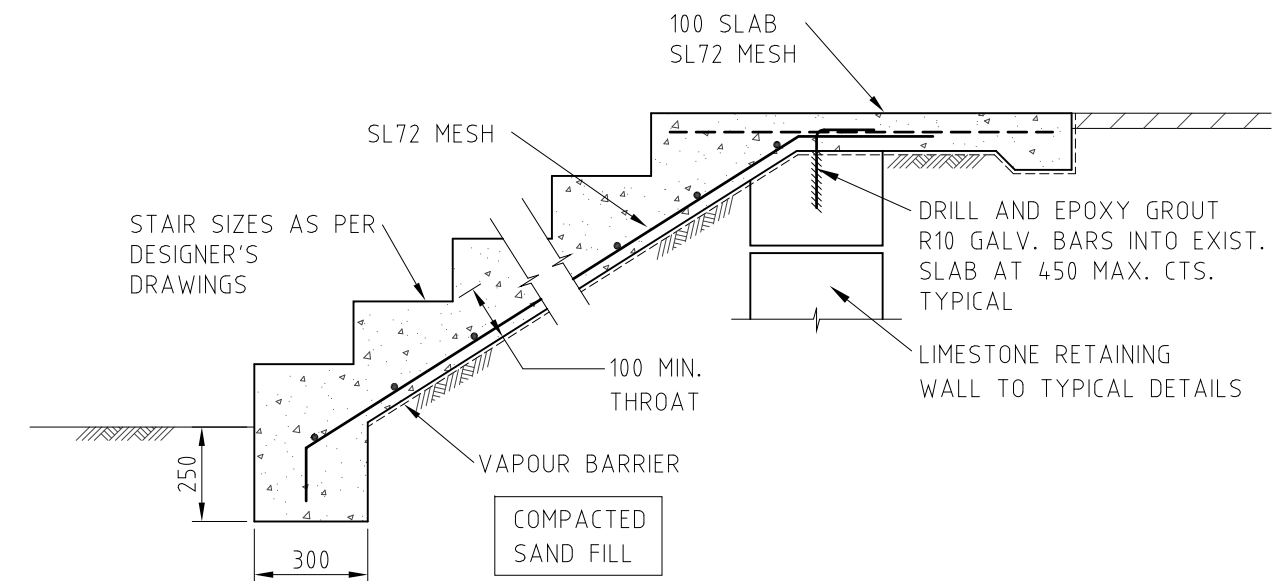
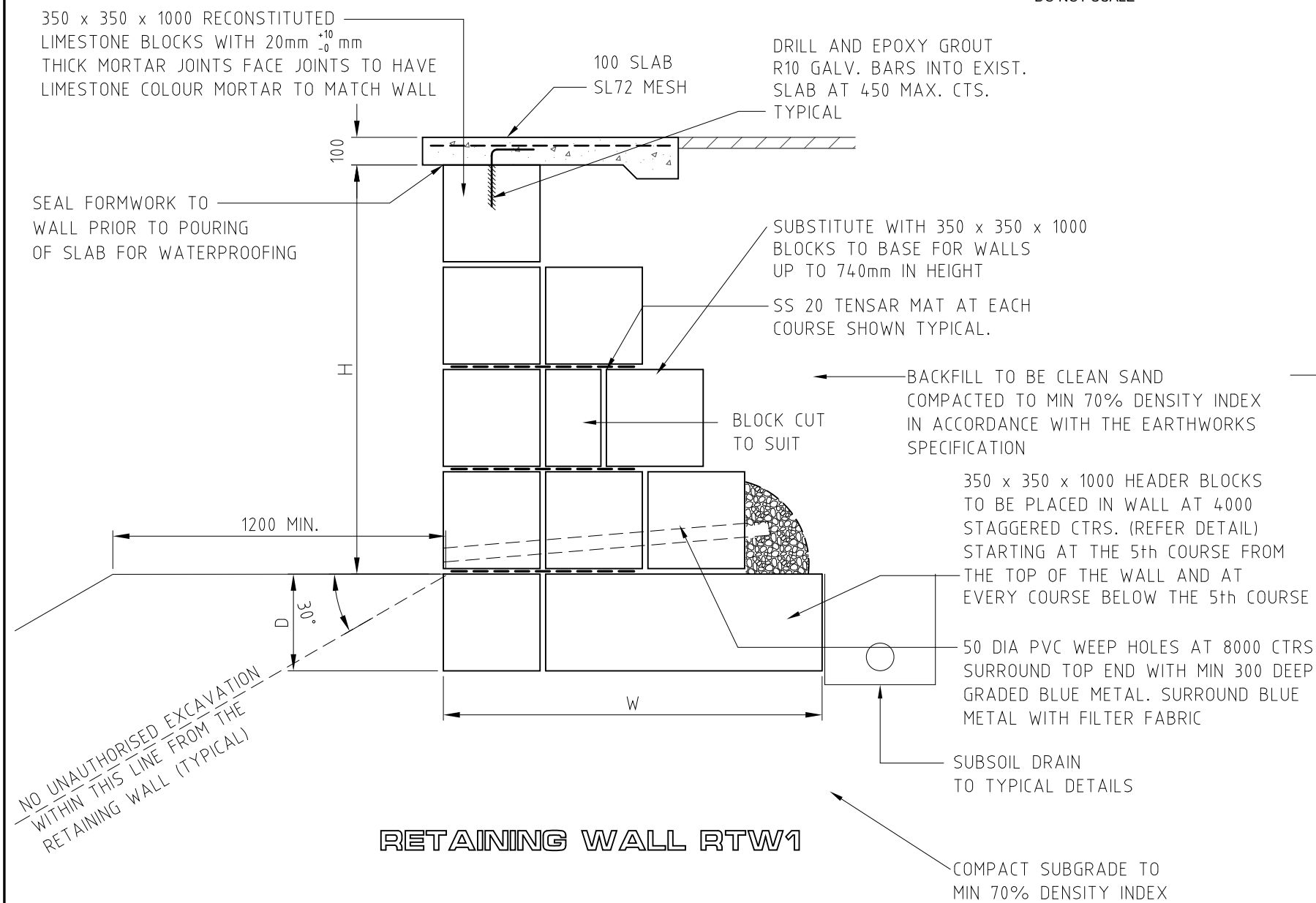
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TITLE
HOLMES ARCHITECTS
PROPOSED RETAINING WALLS AT
HARRISON PLACE, KOJONUP
SECTIONS AND DETAILS

DRG. No. 2021 - 7860 - 05

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C

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TYPICAL REINFORCED CONCRETE STAIRS ON GROUND DETAIL

RETAINING WALL DIMENSIONS IN mm

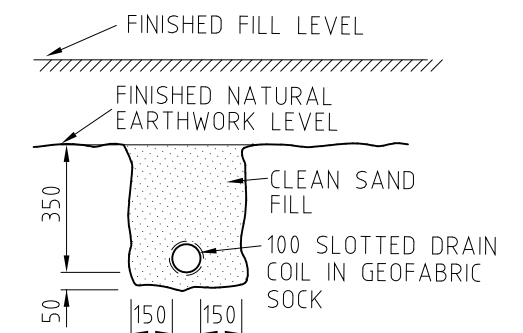
H	D	W
0 - 740	350	1000
741 - 1110	350	1150
1111 - 1480	350	1410

NOTE:
EMBEDDED DEPTH 'D' REQUIRED FOR
MAXIMUM RETAINED HEIGHTS


NOTE:
THIS WALL HAS BEEN DESIGNED WITH
RECONSTITUTED LIMESTONE BLOCKS

NOTES

- 1 SOIL UNDER FOOTING SHALL BE COMPACTED FOR A DEPTH OF 750mm TO GIVE A MINIMUM READING OF 7 BLOWS PER 300mm USING A STANDARD PERTH PENETROMETER.
- 2 BLOCKWORK TO BE IN 1:1:6 MORTAR WITH FULL BED JOINTS AND PERPENDS.
BRICK CAVITY FILL WALLS
BUILD IN CAVITY TIES AT 350 VERT. CTS MAX. x 400 HORIZONTAL CTS MAX. AND STAGGER.
BRICK WALLS
BUILD IN R6 GALV. BLOCK TIES EACH COURSE VERTICALLY AND AT 1200 CTS STAGGERED HORIZONTALLY.
- 3 CONCRETE TO BE GRADE S25 MINIMUM WITH 14mm AGGREGATE
- 4 PROVIDE WEEP HOLES AT NOT GREATER THAN 4m CTS. PROVIDE 10mm CONTROL JOINTS AT NOT GREATER THAN 6m CTS ALONG THE LENGTH OF ANY WALL.
- 5 ALL DISTURBED AREA TO BE STABILISED FOLLOWING CONSTRUCTION OF WALLS.
- 6 NO BACKFILL SHALL BE PLACED UNTIL THE WALL HAS BEEN CONSTRUCTED FOR A MINIMUM OF 7 DAYS.



SUBSOIL DRAIN DETAIL

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C	MINOR REVISIONS	G.S.	02/11 2021	<p>THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION UNLESS SIGNED AS APPROVED</p>						
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No.	REVISION	BY	DATE							

350 x 350 x 1000 RECONSTITUTED LIMESTONE BLOCKS WITH 20mm ⁺¹⁰₋₀ mm THICK MORTAR JOINTS FACE JOINTS TO HAVE LIMESTONE COLOUR MORTAR TO MATCH WALL

DO NOT SCALE

PRECAST WALLS AND FLOOR BY REBUS

SUBSTITUTE WITH 350 x 350 x 1000 BLOCKS TO BASE FOR WALLS UP TO 740mm IN HEIGHT

SS 20 TENSAR MAT AT EACH COURSE SHOWN TYPICAL.

BACKFILL TO BE CLEAN SAND COMPACTED TO MIN 70% DENSITY INDEX IN ACCORDANCE WITH THE EARTHWORKS SPECIFICATION

BLOCK CUT TO SUIT

350 x 350 x 1000 HEADER BLOCKS TO BE PLACED IN WALL AT 4000 STAGGERED CTRS. (REFER DETAIL) STARTING AT THE 5th COURSE FROM THE TOP OF THE WALL AND AT EVERY COURSE BELOW THE 5th COURSE

50 DIA PVC WEEP HOLES AT 8000 CTRS SURROUND TOP END WITH MIN 300 DEEP GRADED BLUE METAL. SURROUND BLUE METAL WITH FILTER FABRIC

SUBSOIL DRAIN TO TYPICAL DETAILS

COMPACT SUBGRADE TO MIN 70% DENSITY INDEX

NO UNAUTHORISED EXCAVATION WITHIN THIS LINE FROM THE RETAINING WALL (TYPICAL)

1200 MIN.

D
30°

250

SL81 MESH

W

RETAINING WALL RTW2

RETAINING WALL DIMENSIONS IN mm

H	D	W
0 - 740	350	1000
741 - 1110	350	1150
1111 - 1480	350	1410

NOTE:
EMBEDED DEPTH 'D' REQUIRED FOR MAXIMUM RETAINED HEIGHTS

NOTE:
THIS WALL HAS BEEN DESIGNED WITH RECONSTITUTED LIMESTONE BLOCKS

NOTES

- 1 SOIL UNDER FOOTING SHALL BE COMPACTED FOR A DEPTH OF 750mm TO GIVE A MINIMUM READING OF 7 BLOWS PER 300mm USING A STANDARD PERTH PENETROMETER.
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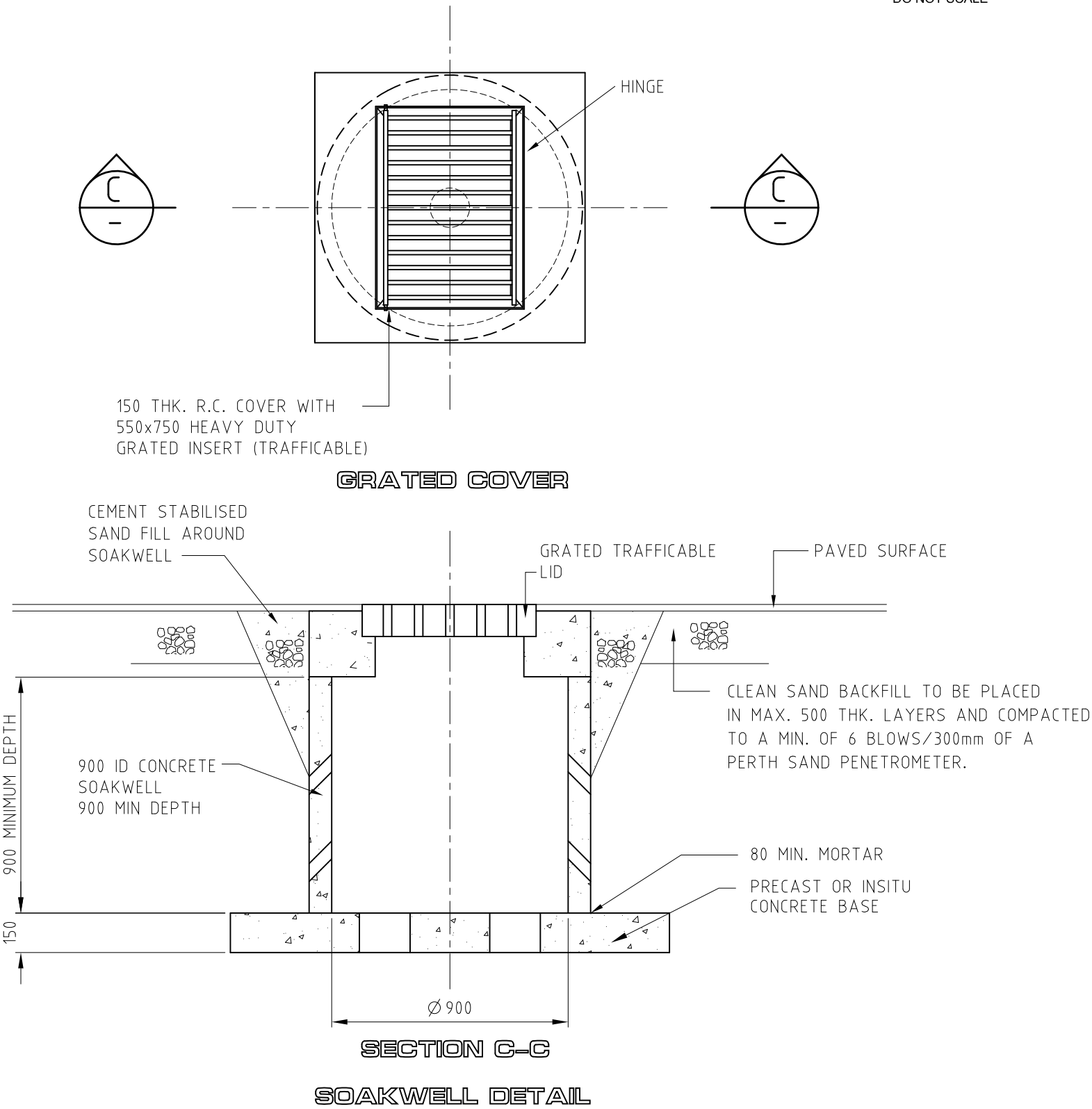
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TITLE
HOLMES ARCHITECTS
PROPOSED RETAINING WALLS AT HARRISON PLACE, KOJONUP
RETAINING WALL TYPE TWO DETAILS

DRG. No. 2021 - 7860 - 07

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TITLE
HOLMES ARCHITECTS
PROPOSED RETAINING WALLS AT
HARRISON PLACE, KOJONUP
SOAKWELL DETAIL

DRG. No. 2021 - 7860 - 08

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A

The Kodja Place

Site Dynamics

TOWNSHIP INTERCONNECTIVITY

The site is a major traveller's rest stop with car charging facilities, amenity blocks and food and water. Creating a seamless flow between the Kodja Place, Apex Park and the carpark will improve the usability of the entire precinct

CONNECTED STORIES

The prominent stories of Yoondi, Maria and Elizabeth are accentuated as part of the landscape of the Rose Maze and the cultures they represent spread throughout the rest of the site. The integrity of these stories will be maintained

SITE LINES

Visual connectivity from vantage points as well as through the site need to be considered and accentuated

SITE SLOPE

Drainage runs North, down the site towards Kojonup Creek. Runoff can be incorporated to minimise reliance on irrigation

LANDSCAPE CHARACTER

Existing specimen trees in the courtyard and centre of the maze provide visual structure and shade. This can be carried through and implemented for future works

EXISTING DESIGN

The 'paved' storylines leave the Kodj Gallery and weave through the Kodja Place courtyard to meet at the Rose Maze entrance. This is a prominent design intervention that could be continued in with any upgrades

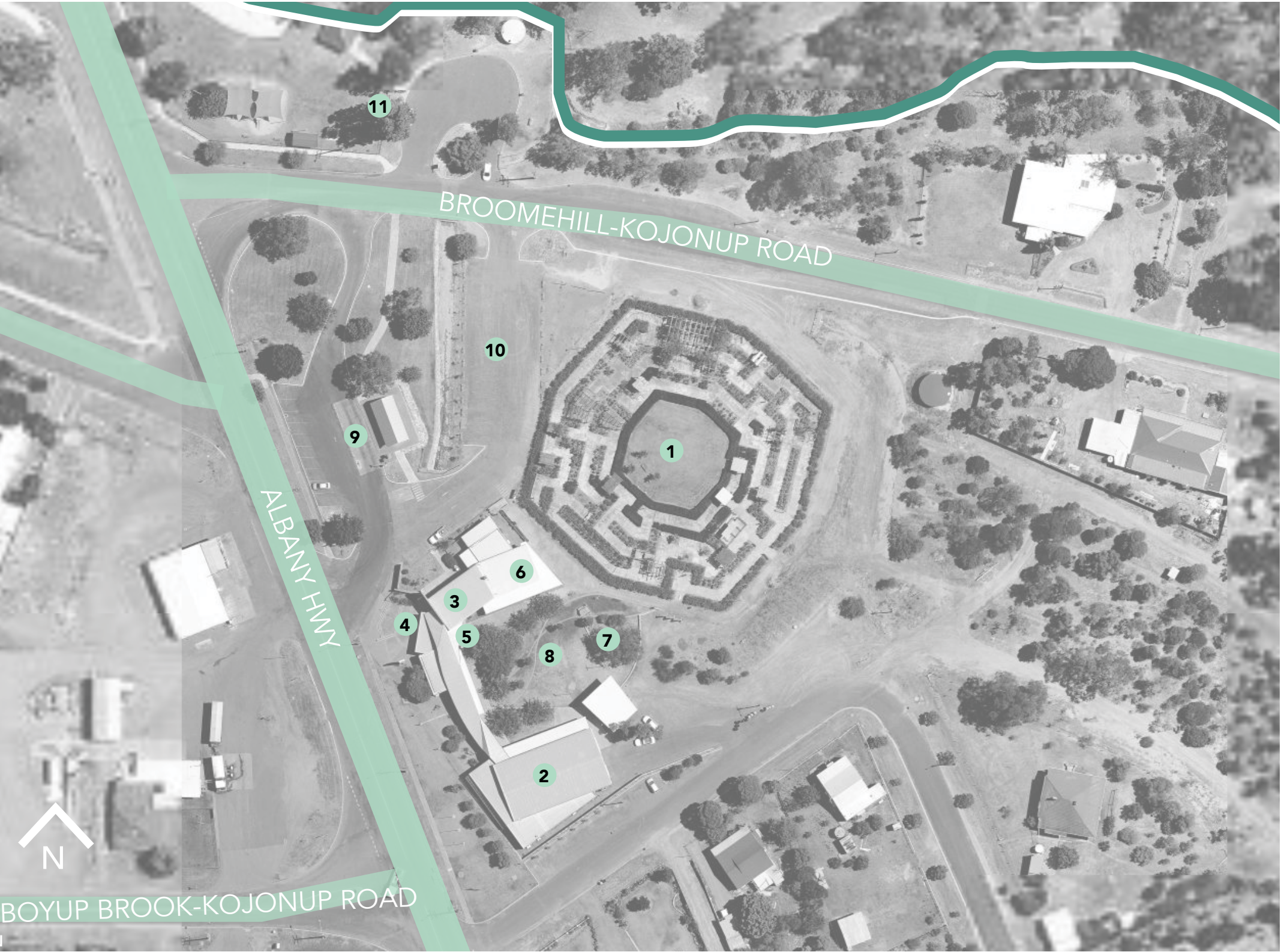
Kojonup Context



- 1 Kodja Place
- 2 Recreation Precinct
- 3 Apex Park
- 4 Shire Building
- 5 Kojonup Senior High School
- 6 Wool Wagon
- 7 St Bernard's Primary School
- 8 Sharpening Rock and Kodj Tree
- 9 Agricultural Farmland

The Kojonup community is comprised of a rich history of cultures, people and place. Across the township and shire, its story is represented through monuments, landscapes and education precincts. At the metaphorical centre of this, is the Kodja place; an artfully curated celebration of Kojonup. At the entrance to the town from the South, surrounded by other prominent community sites, Kodja tells the cross cultural story of deep traditions, traditional owners, struggle and adaptation, change and achievement and foremost; the connectivity of community.

Kodja Place Context

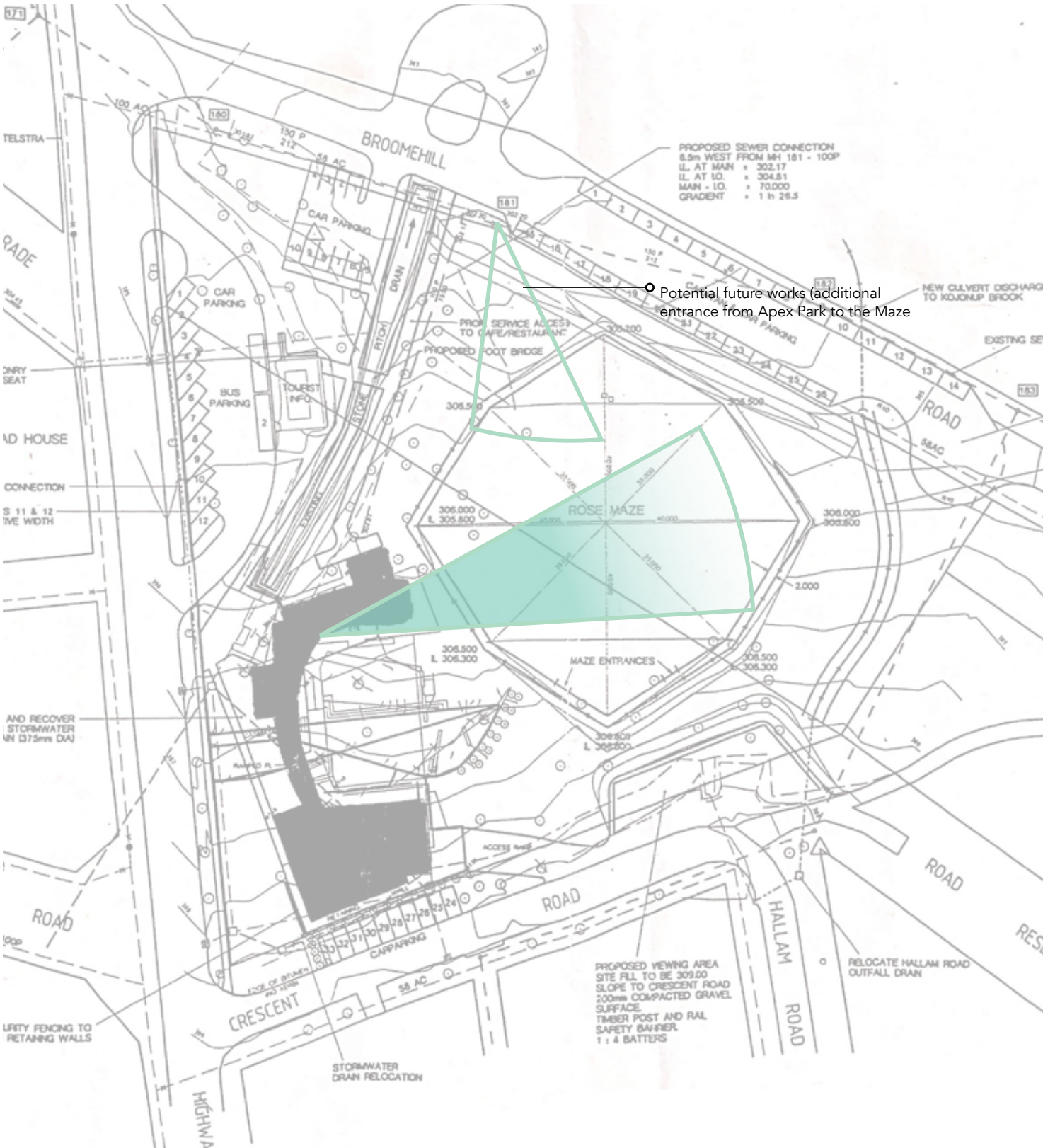


- 1 The Rose Maze & Three Womens Stories
- 2 The Kodj Gallery
- 3 The Kodja Place Shop
- 4 Kodja Place Front Entrance
- 5 Kodja Place Rear Entrance
- 6 Black Cockatoo Cafe
- 7 Yoondi's Mia Mia
- 8 Kodja Courtyard
- 9 TransWA Bus Terminal
- 10 Kodja Place Carpark
- 11 Apex Park

The Kodja Place building has been designed to represent the shape of the Kodj, the name given to the stone axe by aboriginal inhabitants and from which Kojonup takes its name. The Rose Maze, a major part of the Kodja place sits predominantly to the north of the 'stone axe' building with no direct connectivity between the two. Symbolising the journey of the three Australian women, paying tribute to Kojonup over time and built by the community, the Rose Maze is an emblematic extension of the Kodja Place. In order for it to retain environmental and cultural relevance the landscaping requires a staged upgrade to align with the future vision of the site.

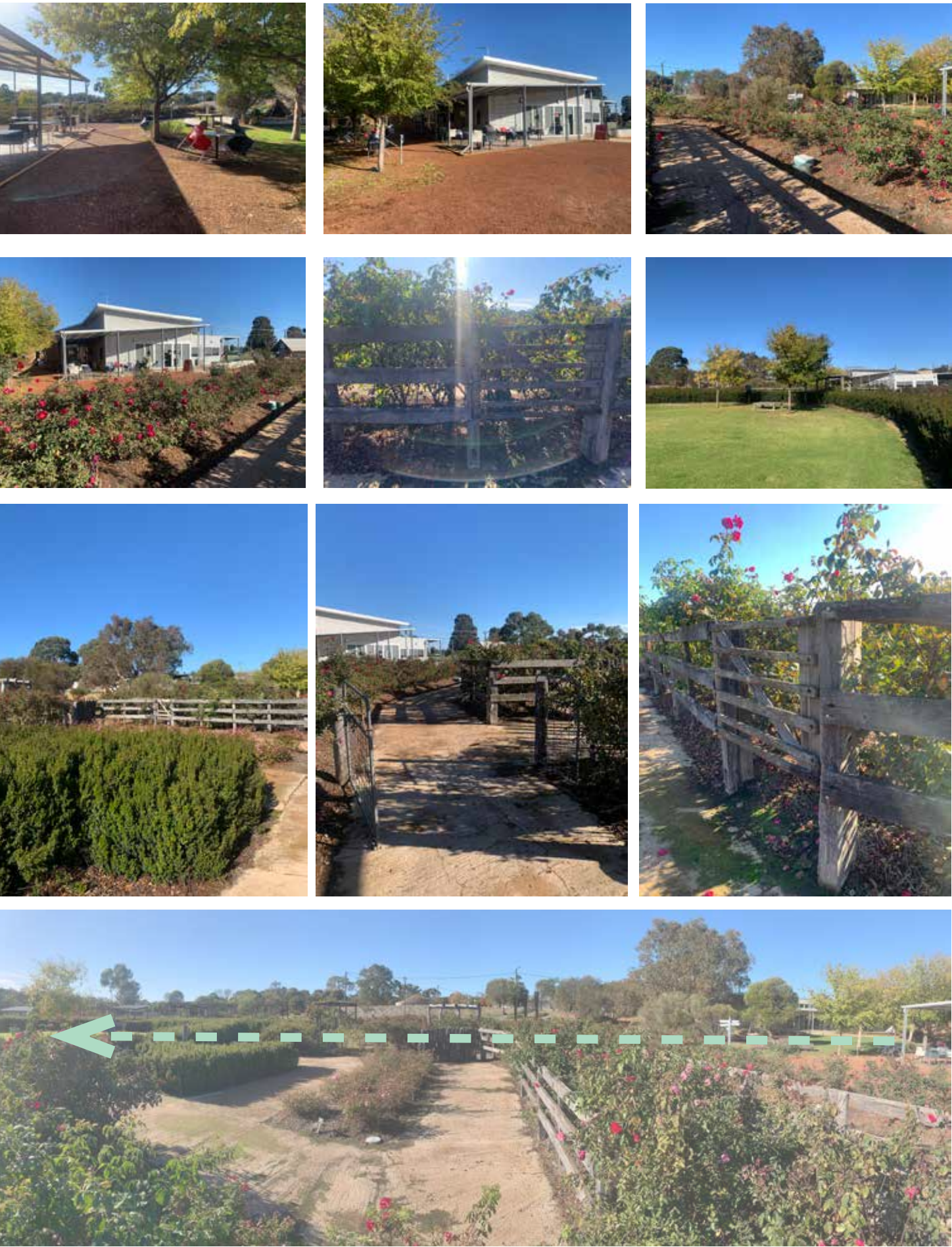
Part of this includes a new entrance to the maze, which will achieve a direct line of site between the rear entrance into the Kodja Place shop and gallery.

The Rose Maze



PROPOSED OUTLOOK AND LOCATION OF NEW ENTRANCE TO CENTRE OF MAZE

Existing Conditions



The Rose Maze

Schematic Concept - Amended Entrance

DRAFT



- Alternate paving types allows for visual continuity of pathways. Retain existing path aggregate and use alternate concrete to form any new connections. This will retain the delineation of the original maze path layout whilst creating a continuous, direct path towards the centre
- Paths widths are maintained at 2500mm

Existing rose species (*Mrs Fred Danks*?) appears to be struggling and is low lying. Replacing them with another specimen tree will provide shade and continue the story of the three women

- Existing low lying Roses (*Babe* and *Gordon Drake*?) to be replaced with 2 specimen trees in garden bed with additional shrub planting
- Retain existing maze path line
- *specimen tree species to represent one of the women from the stories

- The 'Stolen Generation Enclosure' is retained and now directly adjacent to new path
- Retains the integrity of the maze stories and brings an existing cultural element to the forefront of the new entrance

- 'Cattle Gates' are repurposed to border the new entrance path with the existing garden beds

- New entrance is framed by two specimen trees
- Provide shade
- Provide visual framing to entryway
- *6 new trees proposed in total 3 x different species to represent 3 different women's stories (e.g Melaleuca, Olive Tree, Oak Tree)

- 200mm Exposed aggregate banding to 'meet' existing storylines through courtyard
- Carrying the 'story' through to the new entrance whilst still guiding to the existing entrance

- 200mm Exposed aggregate banding from Kodja Place rear entrance to new entrance
 - Flush with existing surface level
 - Direct line to new entrance

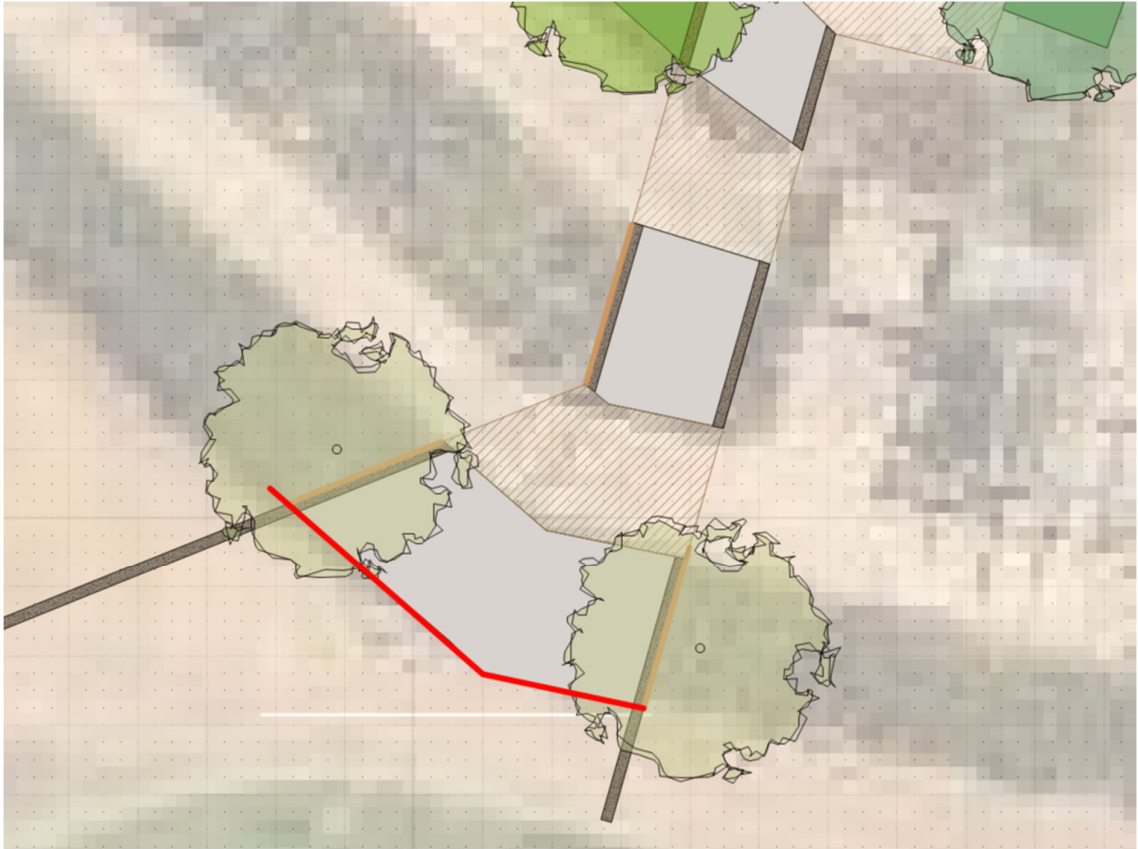
The Rose Maze

Opinion of Probable Cost

DRAFT

TBC







CAT LOCAL LAW 2022

LOCAL GOVERNMENT ACT 1995

CAT ACT 2011

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CAT LOCAL LAW 20212

Under the powers conferred by the *Local Government Act 1995* and the *Cat Act 2011* and under all other powers enabling it, the Council of the Shire of Kojonup resolved on the __ day of _____ to make the following local law.

PART 1 - PRELIMINARY

1.1 Citation

This local law may be cited as the *Shire of Kojonup Cat Local Law 2022*.

1.2 Commencement

This local law comes into operation 14 days after the date of its publication in the *Government Gazette*.

1.3 Application

This local law applies throughout the district.

1.4 Definitions

In this local law unless the context otherwise requires –

Act means the Cat Act 2011;

Applicant means the occupier of premises who makes application for a permit under this local law;

Approved cat breeder has the meaning given to it by section 3(1) of the Act;

Cat has the meaning given to it by section 3(1) of the Act; but does not include the young of a cat normally kept on the premises less than 6 months old;

Cat management facility has the meaning given to it by section 3(1) of the Act, and includes a cattery;

Cattery means any premises where more than two cats are boarded, housed or trained temporarily, usually for profit, and where the occupier of the premises is not the ordinary keeper of the cats;

Commercial lot means a lot zoned under a local planning scheme as –

- (a) central business; or
- (b) service commercial,

CEO means the Chief Executive Officer of the local government;

Council means the Council of the local government;

District means the district of the local government;

Effective control in relation to a cat means any of the following methods –

- (a) held by a person who is capable of controlling the cat;
- (b) securely tethered;
- (c) secured in a cage; or
- (d) any other means of preventing escape.

Enclosed public space means a public place which is enclosed by walls, whether solid materials or

glass, and includes attached or adjoining areas not permitted to the public, unless airflow between the areas is prevented, but does not include a cat management facility or veterinary clinic or hospital;
industrial lot means a lot zoned under a local planning scheme as industry;

Keeper in relation to a cat means any of the following persons –

- (a) the owner of the cat as defined in the Act;
- (b) a person by whom the cat is ordinarily kept;
- (c) a person who has or appears to have immediate custody or control of the cat;
- (d) a person who keeps the cat, or has the cat in her or his possession for the time being;
- (e) a person who occupies any premises in which a cat is ordinarily kept or ordinarily permitted to live;
- (f) a permit holder of a permit which relates to the cat;
- (g) the holder of an exemption issued in relation to the cat;

Local Government means the Shire of Kojonup;

Local planning scheme means a planning scheme of the local government made under the Planning and Development Act 2005;

Local public notice has the meaning given to it by section 1.7 of the Local Government Act 1995;

Permit means a permit issued by the local government under clause 3.5 of this local law;

Permit holder means a person who holds a valid permit granted under this local law;

Premises includes the following –

- (a) land, whether or not vacant;
- (b) the whole or part of a building or structure whether of a permanent or temporary nature; and
- (c) a vehicle.

Public place has the meaning given to it by section 3(1) of the Act;

RSPCA means the Royal Society for the Prevention of Cruelty to Animals (Inc) of Western Australia;

Schedule means a schedule to this local law;

Set fee means a fee determined by the local government in accordance with sections 6.16 to 6.19 of the Local Government Act 1995.

PART 2 - IMPOUNDING OF CATS

2.1 Impounded cats

- (1) The local government may determine from time to time –
 - (a) the times when a cat management facility will be open for the reception and release of cats;
 - (b) times for the sale of cats from the cat management facility; and –
- (2) The local government is to keep a proper record of impounded cats.
- (3) The record is to contain the following information about each impounded cat –
 - (a) if known the breed and sex of the cat;
 - (b) the colour, distinguishing markings and features of the cat;
 - (c) if known, the name and address of the owner;
 - (d) the date and time of seizure and impounding;
 - (e) the name and address of the authorised person who impounded the cat and, if applicable, the person who delivered a cat for impounding;
 - (f) the reason for the impounding;
 - (g) a note of any order made by an authorised person relating to the cat; and
 - (h) the date of the sale, release or destruction of the cat.
- (4) The record is to be available for inspection by the public.
- (5) A person shall not –
 - (a) unless the person is the owner of the cat management facility, or an authorised person, release or attempt to release a cat from a cat management facility;
 - (b) destroy, break into, damage or in any other way interfere with or render not cat proof a cat management facility; or
 - (c) destroy, break into, damage, or in any other way interfere with any container used for the purpose of catching, holding or conveying cats which have been seized.
- (6) A cat must not be release to a person until the person obtains the necessary permit or the cat is registered where –
 - (a) a person wishes to reclaim a cat within the period stated in a notice of impounding; and
 - (b) a permit is required for the keeping of the cat, but the person does not have the necessary permit and/or the cat is not registered.

PART 3 - KEEPING OF CATS

3.1 Keeping of cats in non-residential zones

The keeping of cats is not permitted on a commercial or industrial lot unless –

- (a) associated with an occupied attached residence or caretaker's residence; or
- (b) is an approved cat management facility.

3.2 Limitation on the number of cats

- (1) This clause does not apply to premises which have been –
 - (a) Licensed under Part 4 of this local law as an approved cat breeder or cat management facility; or
 - (b) granted an exemption under regulation 7 of the *Cat (Uniform Local Provisions) Regulations 2013*.
- (2) The standard number of cats which may be kept on any premises is, for the purpose of regulation 6 of the *Cat (Uniform Local Provisions) Regulations 2013* –
 - (a) two cats over the age of six months and the young of those cats under that age if the premises are zoned other than for the purposes of general agriculture under a local planning scheme; or
 - (b) four cats over the age of six months and the young of those cats under that age if the premises are zoned for the purposes of general agriculture under a local planning scheme .

3.3 Cats for which a permit is required

Subject to clause 3.4 an occupier is required to have a permit to –

- (a) keep more than two cats over the age of six months and the young of those cats under that age if the premises are zoned other than for the purposes of general agriculture under a local planning scheme;
- (b) keep more than four cats over the age of six months and the young of those cats under that age if the premises are zoned for the purposes of general agriculture under a local planning scheme .
- (c) use any premises as a cat management facility; or
- (d) be an approved cat breeder.

3.4 Permits not required

A permit is not required under clause 3.3 if the premises concerned are –

- (a) a refuge of the RSPCA or of any other animal welfare organisation;
- (b) a veterinary surgery;
- (c) a pet shop;
- (d) premises with two or less cats; or
- (e) the subject of an exemption granted by the local government.

3.5 Application for permit

An application for a permit under clause 3.3 shall be –

- (a) made by an occupier of the premises where the cats are to be kept;
- (b) if for a cat management facility, in the form of Schedule 1 and accompanied by the plans of the premises to which the application relates to the satisfaction of the local government;
- (c) if for a cat breeder, in the form of Schedule 1;
- (d) accompanied by the consent in writing of the owner of the premises, where the occupier is not the premises to which the application relates; and
- (e) accompanied by the set fee.

3.6 Decision on application

(1) The local government may, upon payment of the set fee –

- (a) approve an application for a permit subject to the conditions outlined in clauses 4.1, 4.2, 4.3 or 4.4; or
- (b) refuse to approve an application for a permit.

(2) If the local government approves an application under subclause (1), then it shall issue to the applicant approval in writing.

(3) If the local government refuses to approve an application under subclause (1), then it is to advise the applicant accordingly in writing.

3.7 Factors relevant to determination of application

(1) In determining an application for a permit the local government may have regard to –

- (a) the physical suitability of the premises for the proposed use;
- (b) the suitability of the local planning scheme zoning of the premises for the proposed use;
- (c) the environmental sensitivity and general nature of the location surrounding the premises for the proposed use;
- (d) the structural suitability of any enclosure in which any cat is to be kept;
- (e) the likelihood of a cat causing nuisance, inconvenience, or annoyance to the occupiers of adjoining land;
- (f) the likely effect on the amenity of the surrounding area of the proposed use;
- (g) the likely effect on the local environment including any pollution or other environmental damage which may be caused by the proposed use;
- (h) any submissions received under subclause (2) within the time specified; and
- (i) such other factors which the local government may consider to be relevant in the circumstances of the particular case.

- (2) The local government may require an applicant to –
- (a) consult with adjoining landowners;
 - (b) advise the adjoining landowners that they may make submissions to the local government on the application for the permit within 14 days of receiving that advice, before determining the application for the permit; and
 - (c) give local public notice of the proposal.

3.8 Cats creating a nuisance

- (1) The keeper of a cat shall not allow a cat to create a nuisance.
- (2) Where, in the opinion of an authorised officer, a cat is creating a nuisance, the local government may give written notice to the keeper of the cat requiring that person to abate the nuisance.
- (3) When a nuisance has occurred and a notice to abate the nuisance is given, the notice remains in force for the period specified by the local government on the notice or until the notice is withdrawn by the local government.
- (4) A person given a notice to abate the nuisance shall comply with the notice within the period specified in the notice.

3.9 Abandonment of cats

The keeper of a cat shall not in any instance –

- (a) abandon a cat; or
- (b) leave a cat on premises while the premises are temporarily vacant, without daily arrangements for the care and welfare of the cats.

PART 4 - PERMITS FOR KEEPING OF CATS

4.1 Conditions applicable to all permits

- (1) Every permit is issued subject to the following conditions –
- (a) each cat kept on the premises to which the permit relates shall be registered under the Act;
 - (b) each cat shall be contained on the premises unless under the effective control of a person;
 - (c) the permit holder will provide adequate space for the exercise of the cats;
 - (d) the premises shall be maintained in good order and in a clean and sanitary condition; and
 - (e) such other conditions, as the local government considers appropriate.
- (2) In addition to the conditions subject to which a permit is to be issued under subclause (1), a permit may be issued subject to other conditions, as the local government considers appropriate.

4.2 Additional conditions for other than cat management facility

Where an application to keep more than two cats is approved under clause 3.6 for other than a cat management facility, the following conditions apply –

- (a) compliance with clause 4.1;
- (b) In the case of a multiple dwelling, where there is no suitable dividing fence, the written consent to the application for a permit of the occupier of the adjoining multiple dwellings has been obtained; and
- (c) Without the consent of the local government, the permit holder will not substitute or replace any cat once that cat –
 - (i) dies; or
 - (ii) is permanently removed from the premises.

4.3 Additional conditions for cat management facility

(1) The local government may approve an application under clause 3.6 for a cat management facility the following conditions apply –

- (a) compliance with clause 4.1; and
- (b) compliance with Schedule 2.

(2) In respect of a particular application for a permit, the local government may vary any of the conditions contained in Schedule 2.

(3) A cat management facility may be inspected by an authorised officer to ensure compliance with the conditions of the permit.

4.4 Additional conditions for approved cat breeders

(1) Where a permit is approved under clause 3.6 as an approved cat breeder the following conditions apply –

- (a) compliance with clause 4.1;
- (b) compliance with clause 4.2;
- (c) compliance with Schedule 2(4)(c) to (g) both inclusive;

(2) The fee for an approved cat breeder is as specified in Schedule 3 to the *Cat Regulations 2012*.

4.5 Duration of permit

Unless otherwise specified in a condition on a permit, a permit for a cat management facility or as an approved cat breeder granted under clause 3.2(b) or (c), commences on the date of issue and is valid for a period of 12 months from the date of issue unless and until –

- (a) it is revoked; or
- (b) the permit holder ceases to reside at the premises to which the permit relates.

4.6 Permit not transferable

A permit is not transferable either in relation to the permit holder or the premises.

4.7 Renewal of permit

(1) The local government may renew approval for a cat management facility or as an approved cat breeder granted under clause 3.2(b) or (c) upon –

- (a) payment of the set fee; and
- (b) certification by the occupier that the circumstances of the original application are unchanged.

(2) Where circumstances of the original application have changed, the application for renewal is to be considered an initial application.

4.8 Revocation of permits

(1) A permit may be revoked by the local government if there is a breach of any condition of that permit or if the permit holder is convicted of a breach of any provision of this local law.

(2) On revocation of a permit the permit holder is to be taken to have forfeited any set fees paid in respect of the permit.

PART 5 - CATS IN PUBLIC PLACES

5.1 Cat prohibited areas

(1) A cat shall not be in the places specified in Schedule 4 at any time, whether or not under effective control.

(2) If a cat is in a Cat Prohibited Area in contravention of subclause (1), then the owner of the cat commits an offence unless the owner of the cat has first obtained written authorisation from the local government.

PART 6 - MISCELLANEOUS

6.1 Fees and charges

Set fees and charges are to be imposed and determined by the local government under sections 6.16 to 6.19 of the Local Government Act 1995.

6.2 Giving of a notice

A notice given under this local law may be given to a person –

- (a) personally;
- (b) by registered mail addressed to the person; or
- (c) by leaving it for the person at her or his address.

6.3 Objection and appeal rights

Any person who is aggrieved by the conditions imposed in relation to a permit, the revocation of a permit, or by the refusal of the local government to grant a permit may object to or appeal against the decision under Division 1 of Part 9 of the Local Government Act 1995.

PART 7 - ENFORCEMENT

7.1 Offences

Any person who fails to do anything required or directed to be done under this local law, or who does anything which under this local law that person is prohibited from doing, commits an offence.

7.2 General penalty

Any person who commits an offence shall be liable, upon conviction, to a penalty not exceeding \$5,000, and if the offence is of a continuing nature, to an additional penalty not exceeding \$500 for each day or part of a day during which the offence has continued.

7.3 Modified penalties

- (1) An offence against a clause specified in Schedule 3 is a prescribed offence for the purposes of section 84 of the Act.
- (2) The amount of the modified penalty for a prescribed offence is set out in the fourth column adjacent to the clause in Schedule 3.

7.4 Issue of infringement notice

Where an authorised person has reason to believe that a person has committed an offence in respect of which a modified penalty may be imposed, he or she may issue to that person a notice substantially in the form of Form 6 of the Schedule 1 of the *Cat Regulations 2012*.

7.5 Withdrawal of infringement notice

- (1) Whether or not the modified penalty has been paid, an authorised person may withdraw an infringement notice by sending a notice substantially in the form of Form 7 of the Schedule 1 of the *Cat Regulations 2012*.
 - (2) A person authorised to issue an infringement notice under clause 7.4 cannot sign a notice of withdrawal.
-

Schedule 1 – Application for a licence for cat management facility or cat breeder

[cl. 3.5]

Shire of Kojonup

I/We (full name/s) –		
Postal Address –		
Telephone Number –		
Mobile Number –		
Fax Number –		
Email address –		
APPLY FOR A LICENCE	Under clause 3.3(c) for cat management facility	
	Under clause 3.3(d) as cat breeder	
Address of proposed premises –		
CAT MANAGEMENT FACILITY		
For number of cats –		
Attached are –	a site plan of the premises showing the location of the cat management facility and all other buildings and structures and fences;	
	plans and specifications of the proposed cat management facility.	
CAT BREEDER		
For number of cats –		
Breed of cats –		
Attached are –	(a) copy of notice of proposed use to appear in newspaper; (if required)	
	(b) copy of notice of proposed use to be given to adjoining premises; (if required)	
Signature of applicant/s		
Date –		
NOTE – a licence will have effect for a period of 12 months if issued		
OFFICE USE ONLY	Application fee paid on – Receipt No –	

Schedule 2 – Conditions of a permit for an approved cat management facility

[cl. 4.3]

Shire of Kojonup

An application for a permit for an approved cat management facility may be approved subject to the following conditions –

(1) Compliance with the conditions of clause 4.1.

(2) Buildings and structures –

- (a) All building enclosures must be structurally sound, have impervious flooring, be well lit and ventilated and otherwise comply with all legislative requirements.
- (b) There is to be a feed room, wash area, isolation cages and maternity section.
- (c) Materials used in structures are to be approved by the local government.
- (d) The internal surfaces of walls are to be smooth, free from cracks, crevices and other defects, where possible.
- (e) All fixtures, fittings and appliances are to be capable of being easily cleaned, resistant to corrosion and constructed to prevent the harbourage of vermin.
- (f) Washing basins and running hot and cold water are to be available.
- (g) The walls shall be rigid, impervious and structurally sound;
- (h) The roof shall be constructed of approved impervious materials;
- (i) All untreated external surfaces of cattery shall be well maintained and aesthetically suitable as not to detract from the local environment and amenity.
- (j) Each module and every part thereof shall not be at any less distance than nine metres from the boundaries of the land in the occupation of the owner of the cat management facility;
- (k) Each module and each yard and every part thereof shall be behind the house line.
- (l) Any other matter which in the opinion of the local government is deemed necessary for wellbeing of any person, or adjoining premises or the amenity of the area (or any part thereof).

(3) Walk-in modules and enclosures –

- (a) Cats shall be housed in walk-in modules that include a sleeping compartment and an exercise area or in colony pens.
- (b) Walk-in modules must have a minimum floor area of 1.5 square metres and contain at least two levels including raised sleeping quarters.
 - (i) This size is for one cat only and an additional one square metre floor space is required for a second cat.
 - (ii) No more than two cats may be housed together in this type of accommodation.
- (c) Cats may be multiple housed in colony pens.
 - (i) Each cat shall have a floor area of two square metres plus an individual sleeping area.
 - (ii) Only desexed compatible cats should be housed in this type of accommodation;
- (d) The lowest internal height shall be at least 1.65 metres from the floor;
- (e) Each yard shall be securely fenced and kept securely fenced with a fence not less than 1.65 metres in height constructed of galvanised iron, wood, galvanised link mesh or netting;
- (f) All doors shall be provided with proper catches or means of fastening;
- (g) The upper surface of the floor shall be set at least 75mm above the surface of the surrounding ground and shall be constructed of granolithic cement finished to a smooth surface, it shall have a fall of not less than 1 in 100.
- (h) All modules and yards shall be surrounded by a drain which shall be properly laid, ventilated and trapped, and all floor washings shall be disposed of in accordance with the Health requirements of the local government; and
- (i) The floor of any yard shall be established and maintained to ensure a safe and hygienic environment.

(4) Management –

- (a) Cats must be housed singly except in the case of compatible cats from the same household with the written agreement of the keeper.
 - (b) Enclosures are to be thoroughly cleaned each day and disinfected at least once a week to minimise disease.
 - (c) No sick or ailing cat is to be kept on the premises.
 - (d) The maximum number of cats to be kept on the premises stated on the permit is not to be exceeded.
 - (e) An register is to be kept recording in respect of each cat or kitten, the –
 - (i) date of admission or birth if a kitten;
 - (ii) date of departure, sale or transfer;
 - (iii) breed, age, colour and sex;
 - (iv) the cat or kitten's microchip number; and
 - (v) the name and residential address of the keeper;
 - (f) The register is to be made available for inspection on the request of an authorised person.
 - (g) Any other matter which in the opinion of the local government is deemed necessary for the health and wellbeing of any cat, or person, or adjoining premises or the amenity of the area.
-

Schedule 3 – Modified penalties

[cl.7.3]

Item	Clause	Nature of offence	Modified penalty
1	2.1(5)(a)	Unauthorised release or attempted release of a cat	500
2	2.1(5)(b)	Interference with a pound	500
3	2.1(5)(c)	Interference with cage or container for seized cats	500
4	3.1	Keeping a cat in a non-residential zone	200
5	3.3(a)	Keeping more than two cats without a permit	200
6	3.3(c)	Failure to hold permit as a cat management facility	500
7	3.3(d)	Failure to hold permit as approved cat breeder	500
8	3.9(1)	Cat creating a nuisance	200
9	3.9(4)	Failure to comply with notice to abate a nuisance	200
10	2.1(5)(a)	Unauthorised release or attempted release of a cat	500
11	2.1(5)(b)	Interference with a pound	500
12	2.1(5)(c)	Interference with cage or container for seized cats	500
13	3.1	Keeping a cat in a non-residential zone	200
14	3.3(a)	Keeping more than two cats without a permit	200
15	3.3(b)	Failure to hold permit as a cat management facility	500
16	3.3(c)	Failure to hold permit as approved cat breeder	500
17	3.8(1)	Cat creating a nuisance	200
18	3.8(4)	Failure to comply with notice to abate a nuisance	200
19	3.9(a)	Abandonment of a cat	500
20	3.9(b)	Failure to make adequate arrangement while temporarily absent	200
21	4.1	Failure to comply with conditions for all permits	200
22	4.2	Failure to comply with conditions of permit for other than a cat management facility	200
23	4.3	Failure to comply with conditions of permit for cat management facility	500
24	4.4	Failure to comply with conditions of permit for approved cat breeder	500
25	5.2	Cat in a place where prohibited	200
26	7.1	All other offences not specified	200

Schedule 4 – Cat prohibited areas

[Clause 5.1]

Places where cats are prohibited:

Common Name	Physical Boundaries	Description
Myrtle Benn Flora and Fauna Sanctuary	Tunney Road – Solider Road	All bushland within physical boundaries
Farrar Nature Reserve	Boyup Brook – Kojonup Road Kojonup – Frankland Road	All bushland within physical boundaries

Dated..... of20__.

The common Seal of the }
Shire of Kojonup }
was affixed by authority of a }
resolution of the Council in the }
presence of. }

NED RADFORD – Shire President

GRANT THOMPSON - Chief Executive Officer

s. 79 - Cat Act 2011

Division 2 — Local laws

79. Local laws

(1) A local government may make local laws prescribing all matters that are required or permitted to be prescribed by a local law, or are necessary or convenient to be so prescribed, for it to perform any of its functions under this Act.

(2) A local law made under this Act does not apply outside the local government's district unless it is made to apply outside the district under section 80.

(3) Without limiting subsection (1), a local law may be made as to one or more of the following —

- (a) the registration of cats;*
- (b) removing and impounding cats;*
- (c) keeping, transferring and disposing of cats kept at cat management facilities;*
- (d) the humane destruction of cats;*
- (e) cats creating a nuisance;*
- (f) specifying places where cats are prohibited absolutely;*
- (g) requiring that in specified areas a portion of the premises on which a cat is kept must be enclosed in a manner capable of confining cats;*
- (h) limiting the number of cats that may be kept at premises, or premises of a particular type;*
- (i) the establishment, maintenance, licensing, regulation, construction, use, record keeping and inspection of cat management facilities;*
- (j) the regulation of approved cat breeders, including record keeping and inspection; (k) fees and charges payable in respect of any matter under this Act.*

Estelle Lottering

From: Steven Elliott <steven.elliott@dlgsc.wa.gov.au>
Sent: Friday, 27 May 2022 11:09 AM
To: Stephanie Swain
Subject: RE: Shire of Kojonup Cat Local Law - Parking Local Law

Hi Stephanie,

Ultimately, the Parliament's delegated legislation committee determines whether a local law has become "significantly different" to what was proposed.

As a general guide, the Department follows the rules that:

- The correction of typos/errors are unlikely to be significant;
- The removal of potentially invalid clauses is unlikely to be significant.
- Any change which impacts legal rights, responsibilities or liabilities will very likely be significant.

The majority of the Department's comments related to the removal of potentially invalid clauses and minor drafting issues. As such, my view is that they are unlikely to be significant. However, as mentioned this will be for the Committee to decide.

Regards

-Steven

From: Stephanie Swain
Sent: Thursday, 26 May 2022 9:09 AM
To: Steven Elliott
Subject: FW: Shire of Kojonup Cat Local Law - Parking Local Law

Good morning Steven,

Just wanting to touch base in relation to my below email.

Any insight you can provide is greatly appreciated.

Kind regards,

Stephanie Swain
Senior Ranger/Fire Control Officer
SHIRE OF KOJONUP / SHIRE OF BROOMEHILL TAMBELLUP
TEL: 0417 872 914 | www.kojonup.wa.gov.au | www.shirebt.wa.gov.au



FOR RECIPIENTS EXTERNAL TO THE SHIRE OF KOJONUP

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From: Stephanie Swain

Sent: Thursday, 12 May 2022 10:21 AM

To: 'steven.elliott@dlgsc.wa.gov.au' <steven.elliott@dlgsc.wa.gov.au>

Cc: Robert Jehu <mrs@kojonup.wa.gov.au>; Estelle Lottering <rsadmin@kojonup.wa.gov.au>

Subject: Shire of Kojonup Cat Local Law - Parking Local Law

Good morning Steven,

Thank you for the very well informed and detailed feedback you provided us for our proposed Cat Local Law and Parking Local Law.

The Cat Local Law feedback was incredibly helpful and we appreciate being provided the committee report produced in relation to the Shire of Dardanup utilising the same Cat Local Law that we had sourced.

All recommended amendments have been made to both the Cat and Parking Local laws.

We would like to confirm that with these amendments being made, Should the Shire of Kojonup start the process again and re-advertise these Local Laws for public comment?

Any insight you can provide is greatly appreciated.

Kind regards,

Stephanie Swain

Senior Ranger/Fire Control Officer

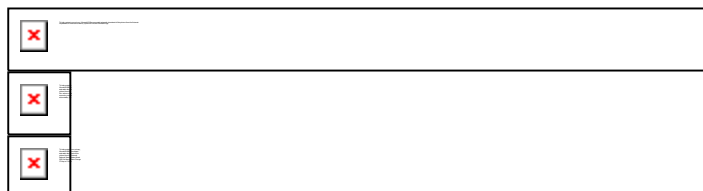
SHIRE OF KOJONUP / SHIRE OF BROOMEHILL TAMBELLUP

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Please be cautious

This email was sent outside of your organisation

Estelle Lottering

From: Stephanie Swain
Sent: Friday, 27 May 2022 1:53 PM
To: Stephanie Swain

From: Steven Elliott
Sent: Friday, 6 May 2022 3:58 PM
To: 'Kojonup'
Subject: Department of Local Government - Comments on proposed cat local law

Good afternoon,

This email is regarding the Shire's proposed cat local law. Comments are provided below.

The Department is still finalizing the comments on the parking local law and these will be available by COB Monday.

Cat Local Law 2022

1. Definition of nuisance

The *Cat Act 2011* currently uses the term "nuisance". As the term is not formally defined, the term is given to have the meaning given to it in common law.

While the Act allows local governments to make local laws about cats causing nuisance, it is uncertain whether the Act allows local governments to redefine "nuisance" to have a meaning other than what it currently has for the purposes of the Act.

The definition of nuisance in the Shire's local law appears to be broader than the normal meaning of nuisance and seems to include things that would not necessarily constitute a nuisance in common law (e.g. urination on private property, or behaving "contrary to the interests of the community").

It is suggested that the definition for nuisance be deleted or changed to "has the same meaning as it has in the Act".

2. Banning cats from public areas

The Parliament's Delegated Legislation Committee has formed the view that while the Cat Act permits local laws that prohibit cats absolutely from specified areas, it does not contemplate local laws that:

- ban cats from all public areas;
- place conditions on when a cat may be permitted in a public area; or
- attempts to restrict all cats in the district to their owner's premises, either explicitly or by creating restrictions which roaming cats are unlikely to comply with.

A copy of the Committee's reasons are attached to this email.

It is suggested that clause 3.8 and clause 5.1 be deleted along with the corresponding modified penalties. If it they are retained, it is likely the Committee will request an undertaking that the clause be removed.

3. Cat prohibited areas

The Act allows local laws to specify an area where cats are prohibited absolutely. In the past, local laws have generally implemented this power by listing specific lots or reserves.

Clause 5.2 appears to prohibit cats from all nature reserves and all enclosed public spaces. It is possible that the Committee may view this as too broad and an attempt to ban cats from public areas

4. Clause 3.4 – Permit not required in certain cases

Clause 3.3(d) provides that a permit is needed to breed cats.

Clause 3.4 provides that a permit under clause 3.3 is not required in certain situations, such as when there are two or less cats on the premises.

When read together, these clauses may confuse cat breeders and lead to them believe that in certain situations, they won't require approval to breed cats. This would be incorrect, since section 37 of the Cat Act provides that all cat breeders require local government approval without exception.

The Shire may wish to reword these clauses to avoid confusion. Alternatively, if clause 3.4 was not intended to apply to clause 3.3(d), the Shire may wish to revise the clause to ensure the wording matches the Shire's intentions.

5. Minor edits

The following minor edits are suggested:

- **Contents page:** Insert an item for "Clause 3.1 Keeping of cats in non-residential zones" and renumber the remaining items accordingly.
- **Enacting clause:**
 - Insert a reference to the *Cat Act 2011* after the reference to the *Local Government Act 1995*
 - Replace "Shire of Kojunup Cat Local Law 2022:" with "the following local law:"
- **Clause 1.1:** Change the citation to italics.

- **Clause 1.2:** Change “Government Gazette” to italics.
- **Clause 1.4:** Defined terms should be bold and italics without quote marks (e.g. ***Act***).
- **Clause 3.2(1)(b) and (2):** Change the citation to italics.
- **Clause 3.4:** The designation “(1)” can be removed as the clause does not contain multiple subclauses.
- **Clause 4.1(1):**
 - Paragraph (a): Move “(b)” to the next line.
 - Paragraph (d): At the end of the paragraph insert “and”.
- **Clause 4.2(b):** At the end of the paragraph replace the full stop with “; and”.
- **Clause 3.3(2):** Change the citation to italics.
- **Clause 7.4:** Change the citation to italics.
- **Clause 7.5:** Reformat the two paragraphs (a) and (b) as subclauses (1) and (2).
- **Schedule 1:**
 - After the title, change “[cl. 3.2]” to “[cl. 3.5(1)]”.
 - Correct the cross references in the “APPLY FOR A LICENCE” field.
- **Schedule 3:**
 - Item 5: Change “3.3(b)” to “3.3(c)”
 - Item 6: Change “3.3(c)” to “3.3(d)”.
 - Remove the duplicate entry for item 13.
- The Shire should also ensure that all references and cross references are accurate, particularly if any changes are made as a result of the Department’s comments.

Minister’s Directions – pursuant to s 3.12(7) of the *Local Government Act 1995*

Please note: once the Shire has published a local law in the *Government Gazette*, the Shire must comply with the requirements of the Minister’s *Local Laws Explanatory Memoranda Directions 2010*. The Shire must, within 10 working days of the Gazettal publication date, forward the signed Explanatory Memoranda material to the Committee at the current address:

Committee Clerk
 Joint Standing Committee on Delegated Legislation
 Legislative Council Committee Office
 GPO Box A11
 PERTH WA 6837
 Email: delleg@parliament.wa.gov.au
 Tel: 9222 7404
 Fax: 9222 7805

A copy of the Minister's Directions and Explanatory Memoranda forms can be downloaded from the Department of Local Government, Sport and Cultural Industries website at www.dlgsc.wa.gov.au. Failure to comply with the Directions may render the local law inoperable.

Please note that my comments:

- have been provided to assist the Shire with drafting matters in relation to the local law;
- do not constitute legal advice;
- have been provided in good faith for the Shire's consideration; and
- should not be taken as an approval of content.

The Shire should ensure that a detailed editorial analysis of the proposed local law has been undertaken and that the content of the local law is in accordance with the Shire's policies and objectives.

Steven Elliott

Senior Legislation Officer

Department of Local Government, Sport and Cultural Industries
140 William Street, Perth WA 6000
GPO Box R1250, Perth WA 6844

Web www.dlgsc.wa.gov.au

The Department acknowledges the Aboriginal peoples of Western Australia as the traditional custodians of this land, and we pay our respects to their Elders past and present.



Department of
**Local Government, Sport
and Cultural Industries**



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This email was sent outside of your organisation

Stephanie Swain

Senior Ranger/Fire Control Officer

SHIRE OF KOJONUP / SHIRE OF BROOMEHILL TAMBELLUP

TEL: 0417 872 914 | www.kojonup.wa.gov.au | www.shirebt.wa.gov.au



FOR RECIPIENTS EXTERNAL TO THE SHIRE OF KOJONUP

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just section 3.5(1) of the *Local Government Act 1995*. This is important because a local law is invalid if the law is made under the *Dividing Fences Act 1961* and the local government fails to provide a copy of the proposed local law; Statewide notice of it; and later a copy of the gazetted local law, to the Minister for Commerce as required under section 3.12 of the *Local Government Act 1995*.

- 7.6 The Attorney General supported the Committee's view that the *Local Government Act 1995* is the source of power and not the *Dividing Fences Act 1961*. The Attorney General's letter explaining the rationale is attached at **Appendix 1**.
- 7.7 The Committee now considers this matter settled. In future, local governments need only cite the *Local Government Act 1995* in the title and enacting clause when drafting a fencing local law.

Cat local laws

- 7.8 The Committee drove legislative reform of cat law after encountering numerous problems with cat local laws made under the *Local Government Act 1995*.⁹ Consequently, the *Cat Act 2011* was enacted and in 2013, the *Cat (Uniform Local Provisions) Regulations 2013* were gazetted.¹⁰
- 7.9 Section 27(a) of the *Cat Act 2011* empowers an authorised person in any public place, to seize any cat that the authorised person believes or suspects on reasonable grounds is the subject of an offence against the Act. In other words, a cat that the authorised person believes or suspects to be unsterilised, unregistered, not wearing a registration tag or not microchipped.
- 7.10 In this reporting period, the Committee scrutinised Part 2 of the Shire of Dardanup *Keeping and Control of Cats Local Law 2014*.¹¹ Part 2 provides that cats must not be in a "public place" or other place unless under "effective control" meaning any of the following methods:

(a) held by a person who is capable of controlling the cat;

⁹ The Committee had formed a view that the *Local Government Act 1995* did not provide the legislative basis for a local law to contain provisions requiring the sterilisation of cats; and that, in any case, a local law was not the appropriate legislative instrument for this purpose and had historically disallowed attempts by local governments to introduce local laws on the basis that cat control needed to be dealt with on a state-wide basis. See the Committee's Report 34, 10 September 2009, *City of Joondalup Cats Local Law 2008*.

¹⁰ During the Parliamentary debate in 2011, concerns were raised about the impact the Act would have on the number of cats that cat fanciers and breeders could own if local governments introduced a local law limiting cat numbers. Not all local governments have cat laws and there is no WALGA model. However, those that do, restrict cat numbers to 3. The former Minister for Local Government gave an undertaking that regulations would be introduced to ensure that if a local government introduced a local law limiting numbers, they would be reasonably protected.

¹¹ That local law was based on the *Shire of Busselton Keeping and Control of Cats Local 2014*.

(b) *securely tethered;*

(c) *secured in a cage; or*

(d) *any other means of preventing escape.*

- 7.11 A public place “*includes any place to which the public may lawfully have access*”.
- 7.12 The effect of Dardanup’s law is that it is an offence¹² to have your cat in a public place, including your own verge, or on the road on a quiet street, without the cat being, in the opinion of an authorised person, under ‘effective control’. Similarly, it is an offence to allow your cat to be in any “other place” unless consent is given by the occupier or on behalf of the occupier and it is under ‘effective control’. For example, a cat must under effective control at a neighbour’s house even if the neighbour gives consent. Cats in public or other places may be seized and impounded by an authorised person.
- 7.13 The Department of Local Government and Communities made a number of comments in relation to Dardanup’s Local Law. In particular, that while section 79(3) of the *Cat Act*¹³ provides that local governments can create cat local laws regarding certain subjects, including prohibiting cats from certain areas, it is uncertain whether this extends to allowing cats in public areas subject to restrictions.
- 7.14 Section 27(a) is the only provision of the Act dealing specifically with cats on public land. Section 27(b)(i) of the Act empowers an authorised person, in any premises lawfully entered, to seize *any cat* at the request, or with the consent, of the person who is, or appears to be, the owner or occupier of the premises. This section does not require that the authorised person believe or suspect that the cat is the subject of an offence under the Act. The cat may be registered and tagged and may still be validly seized under this section.
- 7.15 The general law-making power in the *Local Government Act 1995* cannot authorise local laws that are repugnant with another Act, in this case the *Cat Act 2011*.¹⁴ The Act ‘covers the field’ on the regulation of cats in public places and other places. It provides that certain cats, namely those believed or suspected by an authorised person to be unsterilised, unregistered, not wearing a registration tag or not microchipped, may be seized. By implication, all other cats can lawfully remain on public land.
- 7.16 The effect of Dardanup’s clauses 2.1 and 2.2 when read together is to require that unless under “effective control”, cats must be confined to the premises in which they

¹² (with a \$250 infringement notice penalty or maximum of \$5,000 if prosecuted in court)

¹³ Section 79(3)(f) states that a local law may be made “*as to... specifying places where cats are prohibited absolutely*”.

¹⁴ Section 3.7 of the *Local Government Act 1995*.

are kept. If they are not so confined, their ‘keeper’ has committed an offence under the Local Law and the cat is subject to seizure under clause 2.1(2) or 2.2(2). Using the language of the High Court in *R v Commissioner of Patents; Ex parte Martin*¹⁵, clause 2.1 ‘endeavours to take a new step in policy’ and is thus repugnant to the Act.

7.17 Further, the local law-making power in section 79(3)(g) of the Act¹⁶ extends only to local laws “*requiring that in specified areas a portion of the premises on which a cat is kept must be enclosed in a manner capable of confining cats*”. Although it is true that the general local law-making power under section 79(1) is not limited by the specific powers set out in section 79(3), local laws which are directly contrary to any of the specific powers would be repugnant to the Act. By section 79(3)(g), the Parliament has arguably delineated the scope of valid local laws concerning the confinement of cats. Dardanup, in requiring all cats be confined to their keepers’ premises, is taking a significant new policy step. Part 2 of the Local Law in requiring that unless under “effective control”, cats must be confined to the premises in which they are kept, is a significant change to existing policy and a fundamental change in the law relating to cats.

7.18 The Committee resolved that Part 2 was inconsistent with or repugnant to the *Cat Act 2011*¹⁷ and therefore not within power.¹⁸ Further, that as Part 2 constituted a significant change to existing policy relating to cats, it was not appropriate for subsidiary legislation.¹⁹ The Committee sought undertakings from the Shire of Dardanup to repeal Part 2 of the Local Law.

7.19 Noting identical provisions in Part 2 of the Shire of Busselton *Keeping and Control of Cats Local Law 2014*, the Committee intends to ask the Minister for Local Government and Communities to request the Governor to repeal the offending clauses pursuant to section 3.17 of the *Local Government Act 1995*. Consequently, the Committee also considered the following operational local laws which deal with the presence of cats in public and other places and contain similar, offending clauses:

- Clause 6 of the *Shire of Donnybrook-Balingup Keeping and Welfare of Cats Local Law 2007*;
- Clause 10.1 of the *Shire of Mundaring Keeping and Control of Cats Local Law 2005*;

¹⁵ (1953) 89 CLR 381.

¹⁶ It states that a local law may be made “*requiring that in specified areas a portion of the premises on which a cat is kept must be enclosed in a manner capable of confining cats*”.

¹⁷ Specifically, sections 27 and 79(3).

¹⁸ See Committee Term of Reference 10.6(a).

¹⁹ See Committee Term of Reference 10.6(d).

- Clause 6 of the *Shire of Capel Local Law relating to the Keeping and Welfare of Cats 2004*; and
- Clause 7(6) of the *Shire of Ashburton Local Law Relating to the Control of Cats 1998*.

7.20 It is the Committee's intention to ask the Minister for Local Government and Communities to request the Governor to also repeal these offending clauses.

Assistance Animals

7.21 In 2013, the Committee reported that many local laws contain exemption clauses for guide dogs and hearing dogs to the general ban on animals being on certain local government property, such as public swimming pools, cemeteries and jetties. This is in line with the requirements of the *Equal Opportunity Act 1984*. However, these local laws were not consistent with Commonwealth anti-discrimination legislation as set out in the *Disability Discrimination Act 1992 (Cth)*.

7.22 This issue arose in a number of local laws during this reporting period. The Committee negotiated with the Minister for Local Government to request the Governor to make a global amendment to these problematic clauses in all local laws. To date, the Parliamentary Counsel's Office has reviewed over 300 local laws.

Local Government correspondence

7.23 The Committee continues to experience problems with Mayors and Shire Presidents failing to sign correspondence on behalf of their councils' resolutions. Instead, the Committee receives correspondence signed by chief executive officers, rangers; environmental health or planning officers.

7.24 As the Committee is part of the legislative arm of Government, it needs to communicate with and receive responses from, the legislative arm of local governments, not the executive (administrative) arm unless there are exceptional reasons.²⁰

8 FEES AND CHARGES

8.1 The Committee continues to spend a significant amount of its time considering fees and charges imposed by departments, agencies and statutory authorities in delegated legislation.²¹ The Committee's task was made easier by the publication of the

²⁰ An exception was the *City of Fremantle Alfresco Dining Local Law 2014* when the Committee indicated it would accept correspondence from the chief executive officer. That Instrument was exceptional because the Committee did not receive an Explanatory Memorandum in relation to it and although not formally confirmed, the City intends to repeal it.

²¹ Local government fees and charges do not appear in the text of local laws.



PARKING LOCAL LAW 2022

LOCAL GOVERNMENT ACT 1995

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SHIRE OF KOJONUP

PARKING LOCAL LAW 2022

Under the powers conferred by the *Local Government Act 1995* and under all other powers enabling it, the Council of the Shire of Kojonup resolved on the _____ day of _____ to make the following local law.

PART 1 - PRELIMINARY

1.1 Citation

This local law may be cited as the *Shire of Kojonup Parking Local Law 2022*.

1.2 Commencement

This local law comes into operation 14 days after the date of its publication in the *Government Gazette*.

1.3 Application

This local law applies throughout the district.

1.4 Repeal

Nil.

1.5 Definitions

(1) In this local law unless the context otherwise requires –

Act means the *Local Government Act 1995*;

Authorised person means a person authorised by the local government to perform any of the functions of an authorised person under this local law;

Authorised motor vehicle means a motor vehicle authorised by the local government, CEO, authorised person or by any written law to stop or park on a thoroughfare or on a parking facility;

Bicycle has the meaning given to it by the Code;

Bicycle path has the meaning given to it by the Code;

Built-up area means the areas under a local planning scheme, including both sides of thoroughfares immediately adjoining, zoned as –

- (a) central business;
- (b) service commercial;
- (c) residential; and
- (d) rural townsite.

Bus stop has the meaning given to it by the Code;

Bus zone has the meaning given to it by the Code;

Caravan has the meaning given to it by section 5 of the *Caravan Parks and Camping Grounds Act 1995*;

Carriageway has the meaning given to it by the Code;

Centre in relation to a carriageway, has the meaning given to it by the Code;

CEO means the Chief Executive Officer of the local government;

Children's crossing has the meaning given to it by the Code; **Code** means the *Road Traffic Code 2000*;

Commercial motor vehicle –

- (a) means a motor vehicle constructed for the conveyance of goods or merchandise, or for the conveyance of materials used in any trade, business, industry or work whatsoever, other than a motor vehicle for the conveyance of passengers; and
- (b) includes any motor vehicle that is designed primarily for the carriage of persons, but which has been fitted or adapted for the conveyance of the goods, merchandise or materials referred to, and is in fact used for that purpose;

Continuous dividing line has the meaning given to it in the Code;

Disability parking permit has the meaning given to it by the *Local Government (Parking for People with Disabilities) Regulations 2014*;

Disabled parking bay means a part of a parking facility or carriageway which is identified or marked by painted lines, symbols, inscriptions or signs as a bay for the parking of motor vehicles driven by or carrying a disabled person;

District means the district of the local government;

Driver means any person driving or in control of a motor vehicle;

Edge line has the meaning given to it by the Code;

Emergency motor vehicle has the meaning given to it by the Code;

Footpath has the meaning given to it by the Code;

GVM or “gross motor vehicle mass” has the meaning given to it by the *Road Traffic (Motor vehicles) Act 2012*;

Heavy motor vehicle has the meaning given to it by the Code;

Infringement notice means the notice referred to in clause 7.5;

Keep clear area means a portion of a carriageway that lies –

- (a) between 2 consecutive signs inscribed with the words “KEEP CLEAR” and each with an arrow pointing generally towards the other; or
- (b) between a sign inscribed with the words “KEEP CLEAR” and whichever of the following that lies in the general direction indicated by an arrow inscribed on the sign –
 - (i) the end of the carriageway; or
 - (ii) an area in which stopping is prohibited; or
 - (iii) the furthest point of “KEEP CLEAR” markings.

Keep clear marking has the meaning given to it by the Code;

Kerb means the constructed border or edge of the portion of a road paved for the use of vehicular traffic where any constructed border exists at the edge of the paved road and whether any footpath has been constructed or not;

level crossing has the meaning given to it by the Code;

loading zone has the meaning given to it by the Code;

local government means the Shire of Kojonup;

local planning scheme means a local planning scheme and includes any structure plan adopted or approved by the local government made under the *Planning and Development Act 2005*;

Median strip has the meaning given to it by the Code;

Motor cycle has the meaning given to it by the Code;

Motor vehicle has the meaning given to it in the *Road Traffic (Administration) Act 2012*, but does not include a motorised scooter; and

Motorised scooter has the meaning given to it by the Code, and includes a motorised wheelchair that is designed so as to be not capable of a speed exceeding 10 km/h;

Nature strip has the meaning given to it in the Code

No parking area has the meaning given to it in the Code;

No parking sign means –

- (a) a sign with the words “no parking” in red letters on a white background, or
- (b) the letter “P” within a red annulus and a red diagonal line across it on a white background;

No stopping area has the meaning given to it in the Code;

No stopping sign means a sign with –

- (a) the words “no stopping” or “no standing” in red letters on a white background;
- (b) the words “no stopping” or “no standing” in white letters on a red background; or
- (c) the letter “S” within a red annulus and a red diagonal line across it on a white background;

Notice of withdrawal means the notice referred to in clause 7.6(1).

Occupier has the meaning given to it in section 1.4 of the Act;

Owner where used in relation to –

- (a) a motor vehicle licensed under the *Road Traffic (Motor vehicles) Act 2012*, means the person in whose name the motor vehicle has been registered under the *Road Traffic (Motor vehicles) Act 2012*;
- (b) any other motor vehicle, means the person who owns, or is entitled to possession of that motor vehicle; and
- (c) land, has the meaning given to it in section 1.4 of the Act;

Park has the meaning given to it by the Code;

Parking area has the meaning given to it by the Code;

Parking bay and **Parking lane** means a section or part of a thoroughfare or of a parking station which is marked or defined by painted lines, metallic studs, colored bricks or pavers or similar devices for the purpose of indicating where a motor vehicle may be parked;

Parking control sign has the meaning given to it by the Code;

Parking facilities includes –

- (a) land, buildings, shelters, places, parking bays, parking lanes and other facilities open to the public generally for the parking of motor vehicles with or without charge; and
- (b) signs, notices and facilities used in connection with the parking of motor vehicles;

Path has the meaning given to it in the Code;

Pedestrian crossing has the meaning given to it by the Code;

Public bus has the meaning given to it by the Code, and includes a school bus in the performance of its duties;

Public place means any place to which the public has access whether or not that place is on private property;

Reserve means any land—

- (a) which belongs to the local government;
- (b) of which the local government is the management body under the *Land Administration Act 1997*; or
- (c) which is an otherwise unvested facility within section 3.53 of the *Land Administration Act 1997*;

Right of way means a thoroughfare separating two portions of land by a public reserve, road, laneway, pedestrian access way, and includes the access leg of a battle-axe lot or the equivalent not more than 6m in width;

Road includes a highway, road, lane, thoroughfare, carriageway or similar place, or part thereof, which is within the parking region of the local government, which the public are allowed to use and includes every part of the highway, lane, thoroughfare or similar place and other things including bridges and culverts appurtenant there to and includes all of the land lying between the property lines including the road verge and footpath;

Schedule means a Schedule to this local law;

School bus means a motor vehicle that is used solely or principally for the carriage of children to and from school, and is equipped to seat 8 or more persons, including the driver;

Shared zone has the meaning given to it by the Code;

Sign includes a parking control sign or other sign, inscription, road marking, painted line, mark, structure or other device or method approved by the local government on which may be shown words, numbers, expressions or symbols, and which is placed on or near a thoroughfare or within a parking facilities or reserve for the purpose of prohibiting, regulating, guiding, directing or restricting the stopping and parking of motor vehicles;

Special purpose motor vehicle has the meaning given to it by the Code;

Stop in relation to a motor vehicle, has the meaning given to it by the Code;

Symbol includes any symbol specified from time to time by Standards Australia for use in the regulation of parking and any reference to the wording of any sign in this local law shall be also deemed to include areference to the corresponding symbol;

Taxi has the meaning given to it by the Code;

Taxi zone has the meaning given to it by the Code;

Thoroughfare has the meaning given to it in section 1.4 of the Act;

Traffic island has the meaning given to it by the Code;

Trailer has the meaning given to it by the Code;

Verge has the same meaning as *nature strip*.

- (2) Unless the context otherwise requires, where a term is used, but not defined, in this local law, and that term is defined in the *Road Traffic Act 1974*, the *Road Traffic (Administration) Act 2013*, the *Road Traffic(Motor vehicles) Act 2012* or in the Code, then the term shall have the meaning given to it in that Act or the Code.

PART 2 - ADMINISTRATION

2.1 Powers of the local government

- (1) The local government may, by resolution, prohibit or regulate by signs or otherwise, including but not limited to –
 - (a) the stopping or parking of any motor vehicle or any class of motor vehicles;
 - (b) parking bays;
 - (c) parking facilities;
 - (d) permitted time and conditions of parking in parking bays and parking facilities which may vary with the locality;
 - (e) permitted classes of motor vehicles which may park in parking bays and parking facilities;
 - (f) permitted classes of persons who may park in specified parking bays or parking facilities; and
 - (g) the manner of parking in parking bays and parking facilities.
- (2) Where the local government makes a resolution under this clause, it shall erect signs to give effect to the determination or resolution

2.2 Thoroughfares under control of Commissioner of Main Roads

- (1) Subject to subclause 2, this local law does not apply to –
 - (a) the approach and departure prohibition areas of all existing and future traffic control signal installations as determined by the Commissioner of Main Roads;
 - (b) prohibition areas applicable to all existing and future bridges and subways as determined by the Commissioner of Main Roads; and
 - (c) any road which comes under the control of the Commissioner of Main Roads.
- (2) Upon request of the local government, the control of parking and parking facilities on a thoroughfare under the control of the Commissioner of Main Roads may be delegated by the Commissioner of Main Roads to the local government

2.3 Parking not under the control of the local government

- (1) This local law does not apply to a parking bay, parking lane or parking facility that is not occupied, managed or controlled by the local government, unless the local government and the owner or occupier of that land or facility have agreed in writing that this local law will apply to that land or facility.
- (2) The agreement referred to in subclause (1) may be made on such terms and conditions as the parties may agree.

2.4 Classes of motor vehicles

For the purpose of this local law, motor vehicles are divided into the following classes –

- (a) public buses and school buses;
- (b) commercial motor vehicles;
- (c) motorcycles and bicycles;
- (d) taxis; and
- (e) all other motor vehicles.

PART 3 - PARKING THROUGHOUT THE DISTRICT

Division 1 – District generally

3.1 Application of Part 3

- (1) This Part applies to the whole of the district.
- (2) This Part is subject to the provisions of Part 4 which may override those of this Part.
- (3) This Part is further subject to the provisions of Part 5 which may override those of Part 4 or this Part.

3.2 Parking for people with disabilities

For avoidance of doubt, and notwithstanding clause 2.3(1), the provisions of the *Local Government (Parking for People with Disabilities) Regulations 2014*, apply throughout the district to all parking bays, parking lanes or parking facilities, whether under the control of the local government or not, which are a public place.

3.3 Parking motor vehicle on a carriageway

- (1) A person parking a motor vehicle on a carriageway other than in a parking bay shall park it –
- (a) in the case of a two-way carriageway, so that it is as near as practicable to and parallel with, the left boundary of the carriageway and headed in the direction of the movement of traffic on the side of the thoroughfare on which the motor vehicle is parked;
 - (b) in the case of a one-way carriageway, so that it is as near as practicable to and parallel with either boundary of the carriageway and headed in the direction of the movement of traffic on the side of the thoroughfare on which the motor vehicle is parked;
 - (c) so that at least 3 metres of the width of the carriageway lies between –
 - (i) the motor vehicle and the farther boundary of the carriageway, any continuous dividing line or median strip, or
 - (ii) between the motor vehicle and a motor vehicle parked on the farther side of the carriageway;
 - (d) so that the front and the rear of the motor vehicle respectively is not less than 1 metre from any other motor vehicle, except a motorcycle without a trailer, or a bicycle parked in accordance with this local law; and
 - (e) so that it does not obstruct any motor vehicle on the carriageway,.

3.4 Parking near a railway level crossing

A person shall not park a motor vehicle so that any portion of the motor vehicle is within 20 metres of either the approach side or the departure side of the nearest rail of a railway level crossing.

3.5 Parking on reserves

No person other than an employee of the local government in the course of his or her duties or a person authorised by the local government shall drive or park a motor vehicle upon or over any portion of a reserve other than upon an area specifically set aside for that purpose.

3.6 General prohibitions on parking

- (1) This clause does not apply to a motor vehicle parked in a parking bay nor to a bicycle in a bicycle rack.
- (2) Subclauses (3)(c), (e) and (g) do not apply to a public bus which parks in a bus zone.
- (3) Subject to any law relating to intersections with traffic control signals a person shall not park a motor vehicle so that any portion of the motor vehicle is –
- (a) between any other stationary motor vehicles and the centre of the carriageway;
 - (b) on or adjacent to a median strip;
 - (c) obstructing a right of way, private drive or carriageway or so close as to deny a motor vehicle reasonable access to or egress from the right of way, private drive or carriageway;
 - (d) alongside or opposite any excavation, works, hoarding, scaffolding or obstruction on the carriageway, if the motor vehicle would obstruct traffic;
 - (e) on or within 10 metres of any portion of a carriageway bounded by a traffic island;
 - (f) on any footpath, children's crossing or pedestrian crossing;
 - (g) between the boundaries of a carriageway and any double longitudinal line consisting of two continuous dividing lines or between a double longitudinal line consisting of a continuous dividing line and a broken or dotted line and the boundary of a carriageway nearer to the continuous dividing line, unless there is a distance of at least 3 metres clear between the motor vehicle and the double longitudinal line;
 - (h) on an intersection, except adjacent to a carriageway boundary that is not broken by an intersecting carriageway;
 - (i) within 1 metre of a fire hydrant or fire plug, or of any sign or mark indicating the existence of a fire hydrant or fire plug;
 - (j) within 10 metres of the nearer property line of any thoroughfare intersecting the thoroughfare on the side on which the motor vehicle is parked, unless a sign or markings on the carriageway indicate otherwise.
- (4) A person shall not park a motor vehicle so that any portion of the motor vehicle is within 20 metres of the approach side or within 10 metres of the departure side of –
- (a) a sign inscribed with the words "Bus Stop" or "Hail Bus Here" (or with equivalent symbols depicting these purposes) unless the motor vehicle is a public bus stopped to take up or set down passengers;
 - or
 - (b) a children's crossing or pedestrian crossing.

3.7 Restrictions on parking in particular areas

- (1) Subject to subclause (2), a person shall not park a motor vehicle in a thoroughfare, part of a thoroughfare, or part of a parking facility –
 - (a) if by a sign it is set apart for the parking of motor vehicles of a different class;
 - (b) if by a sign it is set apart for the parking of motor vehicles by persons of a different class; or
 - (c) during any period when the parking of motor vehicles is prohibited by a sign.
- (2) The driver may park a motor vehicle in a thoroughfare or a part of a thoroughfare or part of a parking facility, except in a thoroughfare or a part of a thoroughfare or part of a parking facility to which a disabled parking sign relates for twice the period indicated on the sign, if –
 - (a) the driver's motor vehicle displays a valid disability parking permit sticker; and
 - (b) a disabled person to which the valid disability parking permit relates is either the driver of motor vehicle
- (3) A person shall not park a motor vehicle in a bay marked "M/C" unless it is a motorcycle without a sidecar or a trailer, or it is a bicycle.
- (4) A person shall not, without the prior permission of the local government, the CEO, or an authorised person, park a motor vehicle in an area designated by a sign stating "Authorised Motor vehicles Only".

3.8 Motor vehicles not to obstruct a thoroughfare or public place

A person shall not leave a motor vehicle, or any part of a motor vehicle, in a thoroughfare or public place including a right of way, so that it obstructs the use of any part of that thoroughfare or public place without the permission of the local government or unless authorised under any written law.

3.9 Authorised person may order motor vehicle on thoroughfare to be moved

The driver of a motor vehicle shall not park that motor vehicle on any part of a thoroughfare in contravention of this local law after an authorised person has directed the driver to move it.

3.10 Suspension of parking limitations for urgent, essential or official duties

- (1) Where by a sign the parking of motor vehicles is permitted for a limited time on a portion of a thoroughfare or parking facility, the local government, the CEO or an authorised person may, subject to the Code, permit a person to park a motor vehicle in that portion of the thoroughfare or parking facility for longer than the permitted time in order that the person may carry out urgent, essential or official duties.
- (2) Where permission is granted under subclause (1), the local government, the CEO or an authorised person may prohibit the use by any other motor vehicle of that portion of the thoroughfare or parking facility to which the permission relates, for the duration of that permission.

Division 2 – No Parking and No Stopping

3.11 No parking

A driver shall not stop on a length of carriageway or in an area to which a "no parking" sign applies, unless the driver is –

- (a) is dropping off, or picking up, passengers or goods;
- (b) remains within three metres of the motor vehicle at all times; and
- (c) completes the dropping off, or picking up, of the passengers or goods within two minutes of stopping and drives on.

3.12 No stopping

- (1) A driver shall not stop on a length of carriageway, or in an area, to which a "no stopping" sign applies or in a "keep clear area".
- (2) A driver must not stop at the side of a carriageway marked with a continuous yellow edge line.

3.13 Application of particular definitions

For the purposes of the application of clause 3.11 and clause 3.12 an arrow inscribed on a sign erected at an angle to the carriageway is deemed to be pointing in the direction in which it would point, if the signs were turned at an angle of less than 90 degrees until parallel with the carriageway.

Division 3 – Stopping in particular circumstances

3.14 Stopping near an obstruction

A driver shall not stop on a carriageway near an obstruction on the carriageway in a position that further obstructs traffic on the carriageway.

3.15 Stopping on a bridge, etc.

A driver shall not stop a motor vehicle on a bridge, causeway, ramp or similar structure unless –

- (a) the carriageway is at least as wide on the structure as it is on each of the approaches and a parking control sign does not prohibit stopping or parking; or
- (b) the driver stops at a place on a length of carriageway, or in an area, to which a parking control sign applies and the driver is permitted to stop at that place under this local law.

3.16 Stopping on crests, curves, etc.

A driver shall not stop a motor vehicle on, or partly on, a carriageway, in any position where it is not visible to the driver of an overtaking motor vehicle, from a distance of 50 metres within a built-up area, and from a distance of 150 metres outside a built-up area.

3.17 Stopping near a fire hydrant etc

A driver shall not stop a motor vehicle so that any portion of the motor vehicle is within one metre of a fire hydrant or fire plug, or of any sign or mark indicating the existence of a fire hydrant or fire plug, unless –

- (a) the driver is driving a public bus, and the driver stops in a bus zone or at a bus stop and remains within three metres of the motor vehicle at all times; or
- (b) the driver is driving a taxi, and the driver stops in a taxi zone and remains within three metres of the motor vehicle at all times.

3.18 Obstructing access to and from a path, driveway, etc.

A driver shall not stop a motor vehicle so that any portion of the motor vehicle is in front –

- (a) of a path, in a position that obstructs access by motor vehicles or pedestrians to or from that path;
- (b) on or across a driveway or other way of access for motor vehicles travelling to or from adjacent land; unless –
- (c) the driver is dropping off, or picking up, passengers; or
- (d) the driver stops in a parking bay and the driver is permitted to stop in the parking bay under this local law.

Division 4 – Signs

3.19 Part of thoroughfare to which sign applies

Where under this local law the parking of motor vehicles in a thoroughfare is controlled by a sign, the sign shall be read as applying to that part of the thoroughfare which –

- (a) lies beyond the sign;
- (b) lies between the sign and the next sign beyond that sign; and
- (c) is on that side of the thoroughfare nearest to the sign.

3.20 Pre-existing signs

(1) A sign is deemed for the purposes of this local law to have been erected by the local government under the authority of this local law that where that sign –

- (a) was erected by the local government or the Commissioner of Main Roads prior to the coming into operation of this local law; and
- (b) relates to the parking of motor vehicles within the district,

(2) An inscription, word, number, expression or symbol on a sign referred to in subclause (1) operates and has effect according to its tenor, and where the inscription, word, number, expression or symbol relates to the stopping of motor vehicles, it is to be deemed for the purposes of this local law to operate and have effect as if it related to the parking of motor vehicles.

3.21 Signs must be complied with

An inscription or symbol on a sign operates and has effect according to its tenor and a person contravening the direction on a sign commits an offence under this local law.

3.22 Unauthorised signs and defacing of signs

A person shall not without the authority of the local government –

- (a) mark, set up or exhibit a sign purporting to be or resembling a sign marked, set up or exhibited by the local government under this local law;
- (b) remove, deface or misuse a sign or property, set up or exhibited by the local government under this local law or attempt to do any such act; or
- (c) affix a board, sign, placard, notice or other thing to or paint or write upon any part of a sign set up or exhibited by the local government under this local law.

3.23 General provisions about signs

- (1) A sign marked, erected, set up, established or displayed on or near a thoroughfare is, in the absence of evidence to the contrary presumed to be a sign marked, erected, set up, established or displayed under the authority of this local law.
- (2) The first three letters of any day of the week when used on a sign indicate that day of the week.

Division 5 – Zones for particular motor vehicles

3.24 Stopping in a loading zone

A person shall not stop a motor vehicle in a loading zone unless it is –

- (a) a motor vehicle used for commercial or trade purposes engaged in the picking up or setting down of goods; or
- (b) a motor vehicle that completes the dropping off or picking up of passengers within two minutes of stopping and then drives on,

however, in any event, shall not remain in that loading zone –

- (c) for longer than a time indicated on the “loading zone” sign; or
- (d) longer than 30 minutes, if no time is indicated on the sign.

3.25 Stopping in a taxi zone or a bus zone

- (1) A driver shall not stop in a taxi zone, unless the driver is driving a taxi.
- (2) A driver shall not stop in a bus zone unless the driver is driving a public bus or a school bus.

3.26 Stopping in a shared zone

A driver shall not stop in a shared zone unless –

- (1) the driver stops at a place on a length of carriageway, or in an area, to which a parking control sign applies and the driver is permitted to stop at that place under this local law;
- (2) the driver stops in a parking bay and the driver is permitted to stop in the parking bay under this local law;
- (3) the driver is dropping off, or picking up, passengers or goods; or
- (4) the driver is engaged in door-to-door delivery or collection of goods, or in the collection of waste or garbage.

3.27 Other limitations in zones

A person shall not stop a motor vehicle in a zone to which a sign applies if stopping the motor vehicle would be contrary to any limitation in respect to classes of persons or motor vehicles, or specific activities allowed, as indicated by additional words on a parking control sign that applies to the zone.

PART 4 - PARKING IN BUILT-UP AREAS

Division 1 – Built-up areas generally

4.1 Application of Part 4

- (1) This Part applies to the built up areas of a built-up area.
- (2) This Part overrides any inconsistent provisions of Part 3.
- (3) This Part is subject to the provisions of Part 5 which may override those of this Part.

4.2 No parking of motor vehicles exposed for sale and other circumstances

A person shall not park a motor vehicle on any portion of a thoroughfare –

- (a) for the purpose of exposing it for sale;
- (b) if that motor vehicle is not licensed under the *Road Traffic (Motor vehicles) Act 2012*;
- (c) if that motor vehicle is a trailer or a caravan unattached to a motor vehicle; or
- (d) for the purpose of effecting repairs to it, other than the minimum repairs necessary to enable the motor vehicle to be moved to a place other than a thoroughfare.

4.3 Parking on a carriageway with heavy and long motor vehicles

- (1) Unless engaged in the picking up or setting down of goods, a person shall not park on any part of a carriageway for any period exceeding one hour, a motor vehicle or any combination of motor vehicles, that together with any projection on, or load carried by, the motor vehicle or combination of motor vehicles, is 7.5 metres or more in length or exceeds a GVM of 4.5 tonnes.
- (2) Nothing in this clause affects the operation of any other clause in this local law or any other written law relating to the parking or stopping of motor vehicles.

4.4 Double parking

- (1) A driver shall not stop a motor vehicle so that any portion of the motor vehicle is between any other stopped motor vehicle and the centre of the carriageway.
- (2) This clause does not apply to –
 - (a) a driver stopped in traffic; or
 - (b) a driver angle parking on the side of the carriageway or in a median strip parking area, in accordance with this local law.

4.5 Event Parking

- (1) Subject to clause 2.1, a temporary sign may indicate that all or part of a parking facility, thoroughfare or public place is set aside, during the period indicated in the sign, for the parking of motor vehicles by persons attending a particular event.
- (2) The local government may issue to a person a permit in respect of all or part of a parking facility, thoroughfare or public place for an event referred to in subclause (1).
- (3) A person must not park or stop a motor vehicle, or permit a motor vehicle to remain parked, in any area that is set aside under subclause (1) unless the permit issued under subclause (2) for the relevant event is displayed inside the motor vehicle so that it is clearly visible to an authorised person examining the ticket from outside the motor vehicle.

Division 2 – Parking bays, parking lanes, and parking facilities

4.6 Motor vehicles to be within parking bays or parking lanes on thoroughfare

- (1) Subject to subclause (2) and (3), a person shall not park a motor vehicle in a parking bay in a thoroughfare otherwise than –
 - (a) parallel to and as close to the kerb as is practicable;
 - (b) wholly within the parking bay or parking lane; and
- (2) headed in the direction of the movement of traffic on the side of the thoroughfare in which the bay is situated.
- (3) If a motor vehicle is too long or too wide to fit completely within a single parking bay then the person parking the motor vehicle shall do so within the minimum number of parking bays needed to park that motor vehicle.
- (4) A person shall not park a motor vehicle partly within and partly outside a parking area.

4.7 Parking prohibitions and restrictions

- (1) A person shall not –
 - (a) park a motor vehicle so as to obstruct an entrance to, or an exit from parking facilities, or an access way within parking facilities;
 - (b) except with the permission of the local government or an authorised person, park a motor vehicle on any part of a parking facility contrary to a sign referring to that part;
 - (c) permit a motor vehicle to park in any part of parking facilities, if an authorised person directs the driver of such motor vehicle to move the motor vehicle; or
 - (d) park or attempt to park a motor vehicle in a parking bay in which another motor vehicle is parked, unless –
 - (i) parking of a motorcycle and a bicycle together in a bay marked “M/C”, and
 - (ii) the bicycle is parked in accordance with subclause (2).
- (2) A person must not park a bicycle –
 - (a) in a parking bay other than in a bay marked for motorcycles only; and
 - (b) other than against the kerb.
- (3) Notwithstanding the provisions of subclause (1)(b) a driver may park a motor vehicle in a bay or facility (except in a parking area for people with disabilities) for twice the length of time allowed, provided that –
 - (a) the driver’s motor vehicle displays a current disability parking permit; and
 - (b) a person with disabilities to which that disability parking permit relates is either the driver of or a passenger in the motor vehicle.

4.8 Angle parking

- (1) This clause does not apply to –
 - (a) a motor vehicle with a mass including any load, of over 4.5 tonnes; or
 - (b) a person parking either a motor cycle without a trailer or a bicycle.
- (2) Where a sign associated with a parking area is inscribed with the words “angle parking”, or with an equivalent symbol depicting this purpose, a person stopping or parking a motor vehicle stop or shall park the motor vehicle at an angle and in the position indicated by the inscription on the parking sign or by marks on the carriageway.

Division 3 – Stopping in particular circumstances

4.9 Stopping at or near a bus stop

A driver shall not stop a motor vehicle so that any portion of the motor vehicle is within 20 metres of the approach side of a bus stop, or within 10m of the departure side of a bus stop, measured in the direction of traffic movement on that portion of the thoroughfare, unless –

- (a) the motor vehicle is a public bus stopped to take up or set down passengers; or
- (b) the driver stops at a place on a length of carriageway, or in an area permitted by a parking control sign.

4.10 Stopping on a path, median strip, or traffic island

The driver of a motor vehicle (other than a bicycle or an animal) shall not stop so that any portion of the motor vehicle is on a path, traffic island or median strip, unless permitted by a parking control sign.

4.11 Stopping on verge

- (1) A person shall not stop so that any portion of the following is on or projects over a verge –
 - (a) stop a motor vehicle (other than a bicycle);
 - (b) stop a commercial motor vehicle or any combination of motor vehicles that exceeds 4.5 tonnes GVM, a public bus, a trailer or caravan unattached to a motor vehicle; or
 - (c) stop any motor vehicle (other than a bicycle) during any period when the stopping of motor vehicles on that verge is prohibited by a sign adjacent and referable to that verge.
- (2) Subclause (1)(a) does not apply to the person if he or she is the owner or occupier of the land adjacent to that verge, or is a person authorised by the occupier of that land to stop the motor vehicle so that any portion of it is on the verge.
- (3) Subclause (1)(b) does not apply to a commercial motor vehicle or any motor vehicle with a GVM that exceeds 4.5 tonnes when it is being loaded or unloaded with reasonable expedition with goods, merchandise or materials collected from or delivered to the land adjacent to the portion of the verge on which the motor vehicle is parked, provided no obstruction is caused to the passage of any motor vehicle or person using a carriageway or a path.

4.12 Stopping on a carriageway with motor cycle parking sign

The driver of a motor vehicle shall not stop on a length of carriageway, or in an area, to which a “motorcycle parking” sign applies, or an area marked “M/C” unless –

- (a) the motor vehicle is a motor cycle; or
- (b) the driver is dropping off, or picking up, passengers.

4.13 Stopping on a carriageway with a bicycle sign

Unless dropping off or picking up passengers, the driver of a motor vehicle (other than a bicycle) must not stop on a length of carriageway to which any of the following apply –

- (a) a “bicycle path” sign;
- (b) a “bicycle parking” sign; or
- (c) a “dual use path” or other sign indicating bicycles are permitted to use the path.

PART 5 – PARKING IN TIMED ZONES

5.1 Application of Part 5

- (1) This Part applies to timed parking zones.
- (2) This Part overrides any inconsistent provisions of Part 3.

5.2 Timed Parking

- (1) The local government, by resolution, may constitute any land, structure, section or part of a thoroughfare or public reserve as a timed parking zone.
- (2) In respect of timed parking zones the local government under subclause (1), may determine—
 - (a) the location of parking spaces within a parking zone;
 - (b) the permitted times and conditions of parking or stopping of a vehicle;
 - (c) the classes of vehicles permitted to park or stop;
 - (d) the classes of persons permitted to park or stop a vehicle; and
 - (e) the manner of parking or stopping a vehicle.
- (3) A parking zone constituted under subclause (1) may be varied as to the land, structure, section or part of a thoroughfare or public reserve which it comprises by the local government.
- (4) Where the local government makes a determination under this clause, it shall erect signs to give effect to this determination

5.3 Authorised person may mark tyres

- (1) An authorised person may mark the tyres of a vehicle parked in a parking facility with chalk or any other non-indelible substance for a purpose connected with or arising out of his or her duties or powers.
- (2) A person shall not remove a mark made by an authorised person so that the purpose of the affixing of such a mark is defeated or likely to be defeated.

5.4 No movement of motor vehicles to avoid time limitation

Where the parking of vehicles in a parking facility is permitted for a limited time, a person shall not move a vehicle within the parking facility so that the total time of parking exceeds the maximum time permitted, unless the vehicle has first been removed for at least 1 hour.

PART 6 - MISCELLANEOUS

6.1 Removal of notices on motor vehicle

A person, other than the driver of the motor vehicle or a person acting under the direction of the driver of the motor vehicle, shall not remove from the motor vehicle any notice put on the motor vehicle by an authorised person.

6.2 Emergency and special purpose motor vehicles

Notwithstanding anything to the contrary in this local law, the driver of –

- (a) an emergency motor vehicle may, in the course of their duties and when it is expedient and safe to do so or where they believes that it is expedient and safe to do so, stop, or park the motor vehicle at any place, at any time; and
- (b) a special purpose motor vehicle may, only in the course of his or her duties and when it is necessary and safe to do so, stop, or park the motor vehicle in any place, at any time.

6.3 Removal and impounding of motor vehicles

- (1) The impounding of motor vehicles and other goods shall be carried out in accordance with Part 3 Division 3 Subdivision 4 of the Act and regulation 29 of the *Local Government (Functions and General) Regulations 1996*.
- (2) An employee authorised specifically for the purposes of section 3.39 of the Act and this clause may remove and impound any motor vehicle that is involved in a contravention that can lead to impounding.
- (3) A person authorised to impound a motor vehicle in accordance with subclause (2) may use reasonable force to exercise the power given by that clause.
- (4) The form of the notice referred to in section 3.42 of the Act is set out in Schedule 1.

6.4 Notice to owner of motor vehicle involved in offence

The owner of a motor vehicle may be required to identify the driver or person in charge of a motor vehicle at the time when an offence is alleged to have been committed by sending a notice substantially in the form of Form 1 of Schedule 1 of the *Local Government (Functions and General) Regulations 1996*.

PART 7 - ENFORCEMENT

7.1 Legal proceedings

Evidentiary provisions relating to offences involving motor vehicles are contained in Division 3 of Part 9 of the Act.

7.2 Offences

A person who breaches a provision of this local law commits an offence.

7.3 General penalty

A person who commits an offence under this local law is liable, on conviction, to a penalty not exceeding \$5,000 and if the offence is of a continuing nature, to an additional penalty not exceeding \$500 for each day or part of the day during which the offence has continued.

7.4 Modified penalties

- (1) The offences contained in the Schedule 3 are offences in relation to which a modified penalty may be imposed.
- (2) The amount appearing in the final column of Schedule 3 directly opposite a clause specified in that Schedule is the modified penalty for an offence against that clause.

7.5 Issue of infringement notice

Where an authorised person has reason to believe that a person has committed an offence in respect of which a modified penalty may be imposed, he or she may issue to that person a notice substantially in the form of either –

- (a) Form 2 of Schedule 1 of the *Local Government (Functions and General) Regulations 1996*; or
- (b) Schedule 2 of this local law, in accordance with section 9.18 of the Act.

7.6 Withdrawal of infringement notice

- (a) Whether or not the modified penalty has been paid, an authorised person may withdraw an infringement notice by sending a notice substantially in the form of Form 3 of Schedule 1 of the *Local Government (Functions and General) Regulations 1996*.
- (b) A person authorised to issue an infringement notice under clause 7.5 cannot sign or send a notice of withdrawal

Schedule 1 – Notification of Impoundment of Motor vehicle

[cl. 6.3]

Shire of Kojonup

To (full name/s) –	
Of (address) –	
	Department of Transport records indicate that you are the registered owner of the motor vehicle detailed below and notice is hereby given that the motor vehicle has been impounded in accordance with the provisions of the <i>Local Government Act 1995</i> .
Make –	
Model –	
Registration –	
Impounded from –	
Positioned at/near –	
Date impounded –	
Time impounded –	
	The motor vehicle has been taken to a secure facility.
Facility address –	
	IT IS A REQUIREMENT THAT ALL PAYMENTS ARE RECEIVED PRIOR TO THE RELEASE OF THE MOTOR VEHICLE.
Documentation required –	<p>The following must be produced before payment can be accepted and release of the motor vehicle is permitted—</p> <ul style="list-style-type: none"> Current Motor vehicle Registration Document. Drivers licence or other legal form of identification. Payment receipt (required for motor vehicle release at secure facility).
Payment in person only –	<p>Chief Executive Officer Shire of Kojonup, 93 Albany Highway KOJONUP Between – 8.30am and 4.30pm Monday to Friday (except public holidays) Payments by cash, cheque or EFTPOS.</p>
	The motor vehicle will then be available for release, by contacting the Shire to make the necessary arrangements
Motor vehicle impound fee –	
Additional days storage fee or part thereof	
<p>(1) Subject to clause 2 below, if your motor vehicle is not collected within 2 months after the date of this notice the Shire may either –</p> <p>(a) under section 3.46 of the <i>Local Government Act 1995</i> refuse to allow the motor vehicle to be collected until the Shire’s costs of removing and keeping the motor vehicle have been paid to the Shire; or</p> <p>(b) under section 3.47 of the <i>Local Government Act 1995</i> sell or otherwise dispose of the motor vehicle and credit the money received from that sale or disposal to the Shire’s Trust Fund except to the extent required to meet the cost and expenses incurred by the Shire in removing, impounding and selling of the motor vehicle.</p>	

(2) If the Local Government has made a declaration that in accordance with 3.40A(4) of the <i>Local Government Act 1995</i> the motor vehicle is an abandoned wreck then the motor vehicle may be disposed of within 7 days of that declaration being made.	
If you are convicted of an offence against this Local Law, section 3.48 of the <i>Local Government Act 1995</i> allows the Shire to recover from you its outstanding expenses incurred in the removing, impounding and selling of the motor vehicle.	
Take note –	Unless all fees are paid for and the motor vehicle collected within 2 months from the date of impounding, the Shire may sell the subject motor vehicle.
Authorised person – Name	
Signature	
Title	
Date issued –	

Schedule 2 – Infringement notice and notice requiring owner of motor vehicle to identify motor vehicle

[cl. 7.5(b)]

Shire of Kojonup

INFRINGEMENT NUMBER		
To (full name/s) –		
Of (address) –		
	It is alleged that –	
On (day) –		
At (time) –		
	Your motor vehicle –	
Make –		
Model –		
Registration –		
As from		
	Was involved in the commission of the following offence –	
Details of offence –		
	Contrary to –	
Local Government (Parking for People with Disabilities) Regulations 2014 –		
Shire of Kojonup Parking Local Law 2021, clause –		

The modified penalty item number is –	
The modified penalty for the offence is –	\$
If you do not wish to have a complaint of the alleged offence heard and determined by a court, the amount of the modified penalty may be paid within a period of 28 days after the giving of this notice	
<p>Unless within 28 days after being served with this notice –</p> <p>(a) you pay the modified penalty; or</p> <p>(b) you –</p> <p>(i) inform the Chief Executive Officer or another authorised person at the Shire of Kojonup as to the identity and address of the person who was the driver or person in charge of the above motor vehicle at the time the offence is alleged to have been committed; or</p> <p>(ii) satisfy the Chief Executive Officer that the above motor vehicle had been stolen or was being unlawfully used at the time the offence is alleged to have been committed, you will, in the absence of proof to the contrary, be deemed to have committed the above offence and court proceedings may be instituted against you.</p>	

IMPORTANT – if you do not pay the Modified penalty within 28 days, you may be prosecuted in a court or enforcement action may be taken under the Fines, Penalties and Infringements Notices Enforcement Act 1994. Under this Act, some or all of the following actions may be taken – your driver’s licence may be suspended, your vehicle licence may be suspended or cancelled, you may be disqualified from holding or obtaining a drivers licence or vehicle licence, your vehicle may be immobilized or have its number plates removed, your details may be published on a website, your earnings or your bank accounts may be garnished; and your property may be seized and sold. If the matter is registered with the Registry, additional costs will also be payable. If you change your address it is important that you advise us immediately. Failure to do so may result in your driver’s licence or any vehicle licence you hold being suspended without your knowledge. If you need more time to pay the modified penalty, you can apply for an extension of time by writing to the authorised person at the below address:

In person or by mail to –	Chief Executive Officer Shire of Kojonup, 93 Albany Highway KOJONUP Between – 8.30am and 4.30pm Monday to Friday (except public holidays) Payments by cash, cheque or EFTPOS.
Electronic payment or correspondence –	Refer website at www.Kojonup.wa.gov.au Quoting infringement number enquiries@Kojonup.wa.gov.au
Authorised person – Name	
Signature	
Title	
Date issued –	

Schedule 3 – Prescribed offences

[cl. 7.4]

Item	Clause	Nature of offence	Modified penalty \$
1	3.2	Unauthorised parking in a disabled parking space or unauthorised display of a disability parking permit are dealt with by the <i>Local Government (Parking for People with Disabilities) Regulations 2014</i>	As per the Regulations
2	3.3	Failure to park correctly on a carriageway without markings	50
3	3.4	Parking too close to a railway level crossing	100
4	3.5	Unauthorised parking on a reserve	50
5	3.6	Failure to comply with general prohibitions on parking	50
6	3.7	Failure to comply with restrictions on parking in particular areas	50
7	3.8	Motor vehicle obstructing a thoroughfare or public place	100
8	3.9	Failure to comply with instruction of authorised person	100
9	3.10(1)	Failure to obtain permission to park a motor vehicle other than as provided by this local law	50
10	3.10(2)	Failure to comply with conditions of suspension of parking requirements	100

11	3.11	Failure to comply with “no parking” sign	50
12	3.12	Failure to comply with “no stopping” sign	50
13	3.14	Stopping near an obstruction	50
14	3.15	Stopping on a bridge etc	100
15	3.16	Stopping on crests/curves	100
16	3.17	Stopping near fire hydrant	50
17	3.18	Obstructing path, a driveway etc	50
18	3.21	Failure to comply with sign	50
19	3.22	Unauthorised placement, misuse or obstruction of a sign	100
20	3.24	Stopping unlawfully in a loading zone	50
21	3.25	Stopping unlawfully in a taxi or bus zone	50
22	3.26	Stopping in a shared zone	50
23	3.27	Stopping in a zone contrary to a sign	50
24	4.2	Parking of a motor vehicle on a verge for sale or repair, of if unlicensed motor vehicle, unattached trailer or caravan.	50
25	4.3	Failure to comply with limitations on heavy and long motor vehicles	100
26	4.4	Double parking	50
27	4.5(1)	Failure to comply with event parking sign	50
28	4.5(3)	Failure to display required event permit information	50
29	4.6	Failure to park with marked bay or lane	50
30	4.7(1)	Creating an obstruction or incorrectly parked in a parking facility	50
31	4.7(2)	Incorrect parking of a bicycle in a parking facility	50
32	4.7(3)	Unauthorised extended parking in a facility	50
33	4.8	Failure to comply with angle parking	50
34	4.9	Stopping at or near bus stop	50
35	4.10	Stopping on path, median strip or traffic island	50
36	4.11	Stopping on verge	50
37	4.12	Stopping in a motorcycle parking area	50
39	4.13	Stopping in a bicycle area	50
40	5.2	Failure to comply with timed parking sign	50
41	5.3(2)	Unauthorised making or removal of mark	100
42	5.4	Moving motor vehicle to avoid time limitations	50
43	6.1	Removing notice from motor vehicle	100
44	6.2(b)	Unauthorised parking of special purpose motor vehicle	50
45		All other offences not specified	50

Dated..... of20__.

The common Seal of the }
Shire of Kojonup }
was affixed by authority of a }
resolution of the Council in the }
presence of. }

PRESIDENT

CHIEF EXECUTIVE OFFICER

s. 3.5 and s. 3.10 - Local Government Act 1995

3.5. Legislative power of local governments

(1) A local government may make local laws under this Act prescribing all matters that are required or permitted to be prescribed by a local law, or are necessary or convenient to be so prescribed, for it to perform any of its functions under this Act.

(3) The power conferred on a local government by subsection (1) is in addition to any power to make local laws conferred on it by any other Act.

3.10. Creating offences and prescribing penalties

(1) A local law made under this Act may provide that contravention of a provision of the local law is an offence, and may provide for the offence to be punishable on conviction by a penalty not exceeding a fine of \$5 000.

(2) If the offence is of a continuing nature, the local law may make the person liable to a further penalty not exceeding a fine of \$500 in respect of each day or part of a day during which the offence has continued.

(3) The local law may provide for the imposition of a minimum penalty for the offence.

(4) The level of the penalty may be related to —

(a) the circumstances or extent of the offence;

(b) whether the offender has committed previous offences and, if so, the number of previous offences that the offender has committed.

[(5) deleted]

(6) A local law made under this Act may specify the method and the means by which any fines imposed are to be paid and collected, or recovered.

[Section 3.10 amended: No. 1 of 1998 s. 7.]

Sections 3.12 to 3.16 of the Local Government Act 1995 set out the procedures for making, advertising, changing, commencing, publishing and reviewing local laws.

3.12. Procedure for making local laws

(1) In making a local law a local government is to follow the procedure described in this section, in the sequence in which it is described.

(2A) Despite subsection (1), a failure to follow the procedure described in this section does not invalidate a local law if there has been substantial compliance with the procedure.

(2) At a council meeting the person presiding is to give notice to the meeting of the purpose and effect of the proposed local law in the prescribed manner.

(3) The local government is to —

(a) give local public notice stating that —

(i) the local government proposes to make a local law the purpose and effect of which is summarized in the notice; and

(ii) a copy of the proposed local law may be inspected or obtained at any place specified in the notice; and

(iii) submissions about the proposed local law may be made to the local government before a day to be specified in the notice, being a day that is not less than 6 weeks after the notice is given;

and

- (b) as soon as the notice is given, give a copy of the proposed local law and a copy of the notice to the Minister and, if another Minister administers the Act under which the local law is proposed to be made, to that other Minister; and
- (c) provide a copy of the proposed local law, in accordance with the notice, to any person requesting it.

[(3a) deleted]

- (4) After the last day for submissions, the local government is to consider any submissions made and may make the local law* as proposed or make a local law* that is not significantly different from what was proposed.

* Absolute majority required.

- (5) After making the local law, the local government is to publish it in the Gazette and give a copy of it to the Minister and, if another Minister administers the Act under which the local law is proposed to be made, to that other Minister.

- (6) After the local law has been published in the Gazette the local government is to give local public notice —

- (a) stating the title of the local law; and
- (b) summarizing the purpose and effect of the local law (specifying the day on which it comes into operation); and
- (c) advising that the local law is published on the local government's official website and that copies of the local law may be inspected at or obtained from the local government's office.

- (7) The Minister may give directions to local governments requiring them to provide to the Parliament copies of local laws they have made and any explanatory or other material relating to them.

- (8) In this section —

making in relation to a local law, includes making a local law to amend the text of, or repeal, a local law.

[Section 3.12 amended: No. 1 of 1998 s. 8; No. 64 of 1998 s. 6; No. 49 of 2004 s. 16(4) and 23; No. 26 of 2016 s. 5; No. 16 of 2019 s. 8.]

3.13. Procedure where significant change in proposal

If during the procedure for making a proposed local law the local government decides to make a local law that would be significantly different from what it first proposed, the local government is to recommence the procedure.

3.14. Commencement of local laws

- (1) Unless it is made under section 3.17, a local law comes into operation on the 14th day after the day on which it is published in the Gazette or on such later day as may be specified in the local law.

- (2) A local law made under section 3.17 comes into operation on the day on which it is published in the Gazette or on such later day as may be specified in the local law.

[Section 3.14 amended: No. 1 of 1998 s. 9.]

3.15. Local laws to be publicised

A local government is to take reasonable steps to ensure that the inhabitants of the district are informed of the purpose and effect of all of its local laws.

Further, Council must give notice of the purpose and effect of a local law, as per r. 3 of the Local Government (Functions and General) Regulations:

3. Prescribed manner of giving notice of purpose and effect of proposed local law (Act s. 3.12(2))

For the purpose of section 3.12 of the Act, the person presiding at a council meeting is to give notice of the purpose and effect of a local law by ensuring that —

- (a) the purpose and effect of the proposed local law is included in the agenda for that meeting; and*
- (b) the minutes of the meeting of the council include the purpose and effect of the proposed local law.*

[Regulation 3 inserted: Gazette 31 Mar 2005 p. 1057; amended: Gazette 27 Sep 2011 p. 3846.]

Estelle Lottering

From: Stephanie Swain
Sent: Wednesday, 1 June 2022 12:33 PM
To: Stephanie Swain

From Steven Elliott
Date Tue May 10 06:40:04 AM AWST 2022
To Shire of Kojonup Council
cc
bcc
Subject FW: Department of Local Government - Comments on proposed parking local law

Good morning,

This email is regarding the Shire's proposed parking local law. The Department's comments are provided below.

Parking Local Law 2022

1. Definition of taxi

The Department is aware that recent amendments have occurred to taxi legislation.

Several definitions in the Shire's local law refer to taxi legislation and the Shire should ensure that these definitions are still suitable for the Shire's purposes.

2. Clause 2.1 – Signage

In previous years, the Delegated Legislation Committee has expressed concerns about clauses which allow a local government to change parking rules by resolution.

The Committee's primary concern is that rules might be changed without adequate signage, resulting in the public breaching parking rules they were not aware of.

While clause 2.1 of the Shire's local law states that the Shire can regulate an area by signs, the word "may" would indicate the use of signage is discretionary. It is suggested that clause 2.1 include an additional subclause as follows:

(2) Where the local government makes a resolution under this clause, it shall erect signs to give effect to the determination or resolution.

While the Shire has a similar subclause in clause 5.2, this only applies to timed parking rather than the local law in general. As such, it might be insufficient to alleviate the committee's concerns.

3. Infringement notices – Clause 7.5

Recently, the Government made amendments to the infringement notices prescribed in the Regulations to ensure the wording was consistent with the current version of the *Fines, Penalties and Infringement Notices Enforcement Act 1994*.

It appears that the template form included in the local law's schedule is using an old form of wording. It is suggested that the wording be updated. Alternatively, clause 7.5 could be amended so it only refers to the template in the Regulations.

4. **Clause 4.5 – Event parking**

Clause 4.5 provides that the local government can impose special parking rules in relation to special events.

The Committee has expressed concerns regarding clauses as it could potentially be used to change parking rules without direct authorization of council.

It is suggested that the phrase “Subject to clause 2.1” be added to the beginning of clause 4.5(1) so that it is clear that the council still has to make resolutions in relation to this power.

5. **Minor edits**

The following minor edits are suggested:

- **Enacting clause:** Replace “Shire of Kojonup Parking Local Law 2022:” with “the following local law:”
- **Clause 3.13:** This clause refers to “clause 3.12 and clause 3.13”. It is possible the clause was intended to refer to clause 3.11 and 3.12. The Shire should check to confirm this.
- **Clause 7.4(1):** Change “Schedule 4” to “Schedule 3”.
- **Clause 7.5:** Redesignate paragraphs 7.5.1 and 7.5.2 to “(a)” and “(b)” respectively.
- After an inspection of the draft, it appears that there are a large number of words with spaces missing (e.g. “dayor” in clause 7.3). The Shire should go through the draft and ensure all these errors are corrected.

The Shire should also ensure that all references and cross references are accurate, particularly if any changes are made as a result of the Department’s comments.

Minister’s Directions – pursuant to s 3.12(7) of the Local Government Act 1995

Please note: once the Shire has published a local law in the *Government Gazette*, the Shire must comply with the requirements of the Minister’s *Local Laws Explanatory Memoranda Directions 2010*. The Shire must, within 10 working days of the Gazettal publication date, forward the signed Explanatory Memoranda material to the Committee at the current address:

Committee Clerk
Joint Standing Committee on Delegated Legislation
Legislative Council Committee Office
GPO Box A11
PERTH WA 6837
Email: delleg@parliament.wa.gov.au
Tel: 9222 7404
Fax: 9222 7805

A copy of the Minister’s Directions and Explanatory Memoranda forms can be downloaded from the Department of Local Government, Sport and Cultural Industries website at www.dlgsc.wa.gov.au. Failure to comply with the Directions may render the local law inoperable.

Please note that my comments:

- have been provided to assist the Shire with drafting matters in relation to the local law;

- do not constitute legal advice;
- have been provided in good faith for the Shire's consideration; and
- should not be taken as an approval of content.

The Shire should ensure that a detailed editorial analysis of the proposed local law has been undertaken and that the content of the local law is in accordance with the Shire's policies and objectives.

Steven Elliott

Senior Legislation Officer

Department of Local Government, Sport and Cultural Industries

140 William Street, Perth WA 6000

GPO Box R1250, Perth WA 6844

Web www.dlgsc.wa.gov.au

The Department acknowledges the Aboriginal peoples of Western Australia as the traditional custodians of this land, and we pay our respects to their Elders past and present.



Department of
**Local Government, Sport
and Cultural Industries**



Customer Focused



Responsive



Respectful



Accountable



Innovative

Please be cautious

This email was sent outside of your organisation

Estelle Lottering

From: Steven Elliott <steven.elliott@dlgsc.wa.gov.au>
Sent: Friday, 27 May 2022 11:09 AM
To: Stephanie Swain
Subject: RE: Shire of Kojonup Cat Local Law - Parking Local Law

Hi Stephanie,

Ultimately, the Parliament's delegated legislation committee determines whether a local law has become "significantly different" to what was proposed.

As a general guide, the Department follows the rules that:

- The correction of typos/errors are unlikely to be significant;
- The removal of potentially invalid clauses is unlikely to be significant.
- Any change which impacts legal rights, responsibilities or liabilities will very likely be significant.

The majority of the Department's comments related to the removal of potentially invalid clauses and minor drafting issues. As such, my view is that they are unlikely to be significant. However, as mentioned this will be for the Committee to decide.

Regards

-Steven

From: Stephanie Swain
Sent: Thursday, 26 May 2022 9:09 AM
To: Steven Elliott
Subject: FW: Shire of Kojonup Cat Local Law - Parking Local Law

Good morning Steven,

Just wanting to touch base in relation to my below email.

Any insight you can provide is greatly appreciated.

Kind regards,

Stephanie Swain
Senior Ranger/Fire Control Officer
SHIRE OF KOJONUP / SHIRE OF BROOMEHILL TAMBELLUP
TEL: 0417 872 914 | www.kojonup.wa.gov.au | www.shirebt.wa.gov.au



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From: Stephanie Swain

Sent: Thursday, 12 May 2022 10:21 AM

To: 'steven.elliott@dlgsc.wa.gov.au' <steven.elliott@dlgsc.wa.gov.au>

Cc: Robert Jehu <mrs@kojonup.wa.gov.au>; Estelle Lottering <rsadmin@kojonup.wa.gov.au>

Subject: Shire of Kojonup Cat Local Law - Parking Local Law

Good morning Steven,

Thank you for the very well informed and detailed feedback you provided us for our proposed Cat Local Law and Parking Local Law.

The Cat Local Law feedback was incredibly helpful and we appreciate being provided the committee report produced in relation to the Shire of Dardanup utilising the same Cat Local Law that we had sourced.

All recommended amendments have been made to both the Cat and Parking Local laws.

We would like to confirm that with these amendments being made, Should the Shire of Kojonup start the process again and re-advertise these Local Laws for public comment?

Any insight you can provide is greatly appreciated.

Kind regards,

Stephanie Swain

Senior Ranger/Fire Control Officer

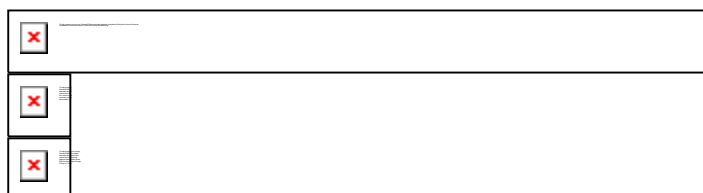
SHIRE OF KOJONUP / SHIRE OF BROOMEHILL TAMBELLUP

TEL: 0417 872 914 | www.kojonup.wa.gov.au | www.shirebt.wa.gov.au



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Please be cautious

This email was sent outside of your organisation

From: [BURNELL Richard](#)
To: [Grant Thompson](#)
Cc: [WATERS Craig](#)
Subject: Shire of Kojonup/DFES meeting
Date: Tuesday, 12 April 2022 9:36:53 AM
Attachments: [image012.png](#)
[image013.png](#)
[image016.png](#)

Hello Grant

I have discussed your issue at length with all Exec members and do not have a silver bullet for you, unfortunately.

The Government direction to DFES (then FESA) in 2008 was to build and deliver the WAERN radio network which included in its scope, transitioning all brigades off mid-band radio solutions onto WAERN. Clearly that did not occur for a variety of cultural and valid practical reasons and no additional funding was provided to address them – allowing the current state to continue.

Effective radio communications capability in emergency response times is a critical community asset. The DFES radio communications team has conducted extensive analysis and service improvement works to the WAERN network during the project and more recently in 2019 and 2020.

The Shire has developed a proposal to address an aging tower problem by transferring services from the Samson Road tower to a new tower to be erected at Jingalup Road and has asked for financial assistance with this work. Whilst the cost of relocating WAERN 234 infrastructure will of course be met by DFES, the tower primarily hosts the Shire's mid-band radio networks, Community FM Radio and internet services. Unfortunately under the provisions of the Emergency Services and Bushfires Acts, DFES can only expend Emergency Services Levy funds relating to the provision of prescribed emergency services, and accordingly, the FES Commissioner has no authority to allocate funds for the new Tower.

We do of course recognise the value to your community safety of an effective communications network and as has been indicated by Superintendent Wayne Green when we met, DFES will stand with you to develop your operational response framework with your Chief Bushfire Control Officer including the development of any required Communications Plan to support the operational requirements for an Incident Control Centre at the shire office, develop a training plan and train and support your volunteers on the use of the Communications Plan and WAERN radio network.

I appreciate that your bushfire brigade volunteers want to continue to have one easy solution for their radio communications needs, however as DFES is not funded or resourced to provide and support local mid-band radio infrastructure, only the WAERN radio network, the Shire's request cannot be accommodated.

Superintendent Green and his staff will work with your CBFCO to further develop and refine your Communications Plan as a first step as this will highlight what radio network will be used depending on the level of incident involved in your Shire and can also develop that Plan to illustrate how neighbouring shires operate should brigades need to travel outside the shire supporting other shires when incidents escalate. Given the Workplace Health & Safety legislative requirements that have now taken effect, and noting the constraints that DFES is compelled to operate within that mean a hybrid radio environment is a fact we all have to deal with, we are both compelled to create a clear operational model and ensure our teams are properly trained so they understand how to communicate at all times regardless of the network.

Regarding the matters I raised on mobile phone and data services improvement, I have not yet received any response to our request to trial the Automated Transfer Switch (connecting a generator to a Telstra tower).

regards

Richard Burnell

Executive Director Corporate Services

Department of Fire and Emergency Services | 20 Stockton Bend Cockburn Central WA 6164

P: +61 8 9395 9828 | M: +61 447 520 394 | F: +61 8 9395 9301 | E: richard.burnell@dfes.wa.gov.au

www.dfes.wa.gov.au

State Gov Badge and DFES RGB 72dpi



Acknowledgement of Country: The Government of Western Australia acknowledges the traditional custodians throughout Western Australia and their continuing connection to the land, waters and community. We pay our respects to all members of the Aboriginal communities and their cultures; and to Elders both past and present.

From: Grant Thompson <ceo@kojonup.wa.gov.au>

Sent: Friday, 18 March 2022 15:06 PM

To: BURNELL Richard <Richard.Burnell@dfes.wa.gov.au>

Subject: RE: Shire of Kojonup/DFES meeting

CAUTION: This email originated from outside of DFES. Do not click links or open attachments unless you recognise the sender and know the content is safe.

Richard

Thank you for both your email updates and information today. It is much appreciated.

Talk soon

Regards,

Grant Thompson

Chief Executive Officer

SHIRE OF KOJONUP

93 Albany Highway Kojonup WA 6395 | PO Box 163 Kojonup WA 6395

Mob: 0419 903 363 | Tel: 9831 2400 | Fax: 9831 1566 | www.kojonup.wa.gov.au



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From: BURNELL Richard [<mailto:Richard.Burnell@dfes.wa.gov.au>]

Sent: Friday, 18 March 2022 3:02 PM

To: Grant Thompson <ceo@kojonup.wa.gov.au>

Subject: RE: Shire of Kojonup/DFES meeting

Hello Grant

I've documented a mid-band funding support proposal which I've sent to our Deputy Commissioner to consider and discuss with me.

regards

Richard Burnell

Executive Director Corporate Services

Department of Fire and Emergency Services | 20 Stockton Bend Cockburn Central WA 6164

P: +61 8 9395 9828 | M: +61 447 520 394 | F: +61 8 9395 9301 | E: richard.burnell@dfes.wa.gov.au

www.dfes.wa.gov.au

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Acknowledgement of Country: The Government of Western Australia acknowledges the traditional custodians throughout Western Australia and their continuing connection to the land, waters and community. We pay our respects to all members of the Aboriginal communities and their cultures; and to Elders both past and present.

From: BURNELL Richard

Sent: Friday, 18 March 2022 11:17 AM

To: Grant Thompson <ceo@kojonup.wa.gov.au>

Cc: Judy Stewart <sao@kojonup.wa.gov.au>; Jenny Clark <records@kojonup.wa.gov.au>; Robert Jehu <mrs@kojonup.wa.gov.au>; GREEN Wayne <Wayne.Green@dfes.wa.gov.au>; CARTER Murray <Murray.Carter@dfes.wa.gov.au>; CARR Paul <Paul.Carr@dfes.wa.gov.au>

Subject: RE: Shire of Kojonup/DFES meeting

Hello Grant

Thank you for hosting our visit yesterday, and for the time you and Rob made available to discuss your issues.

The key matters that we discussed and I noted for follow up are as follows:

1. Radio communications – brigades and farmers entrenched position on use of mid-band communications, and the need for a way forward
We all acknowledged that if a compromise solution albeit a temporary one can be established, this will open up the ability to discuss the longer term approach to radio communications improvement
2. Voice and data over existing Telstra network. I noted that the MBSP relied on not only submissions made directly to Telstra, but also on community submissions. I extracted the attached data from the Commonwealth's website for you.
Here's the URL If you scroll down to the bottom of the page to **Mobile black spot location** database you will see the links to the database and to the mapping tool.

I have created a picture you can copy and paste for Council using the mapping tool – see below.

I've also included Kojonup's reported black spot data including the date raised for your reference.

<https://www.infrastructure.gov.au/media-technology-communications/phone/mobile-services-coverage/mobile-black-spot-program>



Map? Description automatically generated



3. CEM role and how that differentiates from the Bushfire Risk Management Planning Coordinator

Wayne provided a detailed explanation of the work of both roles. He can provide that in writing if that will assist Council to understand.

4. Hospital Precinct – asset protection and fire trucks

Wayne noted that having sufficient water is crucial so you should consider an appliance such as a 4.4 (4,000 litres of water – 4WD) Broadacre Tanker. We noted that a dual cab variant will allow for 5 volunteers to ride in the truck to a fire. Wayne also discussed the smaller 1.4 (1,000 litres of water – 4WD) which has just been approved. The detailed specifications sheet will be added to the webpage soon. LGGs Bushfire Service Capital Grant applications close next **Friday March 25** – not much time!

Wayne noted the need to house the appliance and it was noted that there is an existing shed plus funding for a new shed in the future. Wayne noted that the existing shed will need to consider appliance sizing.

The following URL will get you to the current fleet types. If you click on 4.4 Broadacre Tanker you will see the appliance specifications including dimensions.

<https://www.dfes.wa.gov.au/aboutus/operationalinformation/OperationalFleet/Pages/default.aspx>

5. Telecommunications Resilience Improvement

I noted that the Strengthening Telecommunications Against Natural Disasters (STAND) had delivered the Emergency NBN Satellite WiFi system currently installed at the sports oval evacuation centre. It is always on (I neglected to point out that it relies on mains power so if power to the building cannot be relied on, you should consider a battery backup unit).

If the evacuation centre is activated for a fire, our staff will contact NBN in Melbourne and the bandwidth is fully opened up for the duration of the centre's activation.

I also noted that we had been working with Telstra and DPIRD with their submissions for the second round of funding for Mobile Network Hardening Program (another element of the STAND Program).

Telstra, Optus and TPG submitted 141 applications last August and 140 were approved by the Commonwealth for funding late February. For Kojonup, the **Telstra tower at Boscobel was approved for a generator**. The grant agreements have yet to be issued however I imagine that the works will need to be completed by the end of 2023 or mid-2024.

I also noted that Telstra (post the Black Summer fires) is trialling an "Automated Transfer Switch" in Victoria which simplistically allows a portable generator to be connected to a tower at the perimeter fence. The Minister for Emergency Services has written to the CEO of Telstra and the Federal Minister for Regional Telecommunications to have a trial conducted in WA this year. I'd be very happy to note your interest in running the trial. I am hopeful of a response by the end of April and will share relevant information with you when that becomes available to help you understand the trial conditions for your evaluation.

We also spoke about Starlink as a likely but as yet unproven service. I have attached the latest information for your reference.

6. Mitigation Activity Funding

I noted that funding tranches are provided in Autumn and Spring annually. Murray had indicated to me that it would be reasonable to assume that it will take around 12 months to develop a plan and get it approved. That would mean that you would be provided funding for approved works in Spring 2023.

7. Rural Fire Awareness training – I noted that this content was being posted online to be a resource available for the farming community to use, and for seasonal workers to review prior to going to a farm. You noted that discussion with your community had indicated that this was going to form mandatory pre-employment requirements for farm seasonal workers. The current plan is to have this service available online by June 30.

If I've missed anything, please rely to this email.

regards

Richard Burnell
Executive Director Corporate Services
Department of Fire and Emergency Services | 20 Stockton Bend Cockburn Central WA 6164
P: +61 8 9395 9828 | M: +61 447 520 394 | F: +61 8 9395 9301 | E: richard.burnell@dfes.wa.gov.au
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Acknowledgement of Country: The Government of Western Australia acknowledges the traditional custodians throughout Western Australia and their continuing connection to the land, waters and community. We pay our respects to all members of the Aboriginal communities and their cultures; and to Elders both past and present.

From: Grant Thompson <ceo@kojonup.wa.gov.au>
Sent: Friday, 11 February 2022 14:42 PM
To: BURNELL Richard <Richard.Burnell@dfes.wa.gov.au>
Cc: CARTER Murray <Murray.Carter@dfes.wa.gov.au>; GRANT Julie <Julie.Grant@dfes.wa.gov.au>; Judy Stewart <sao@kojonup.wa.gov.au>; Jenny Clark <records@kojonup.wa.gov.au>; Robert Jehu <mrs@kojonup.wa.gov.au>
Subject: RE: Shire of Kojonup/DFES meeting

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Richard

Thanks for your time. I appreciate the positive response to our request for a meeting.
Please find the following items to discuss and appreciate some may cross operational lines, but believe it will be beneficial if we can outline Kojonup's position to yourselves before we involve others in the conversation:

1. Kojonup Shire/DFES long term relationship. Observations and discussion on how we can improve relationships.
2. Localised funding options.
3. Grant related roles (CESM and BPRMC).
4. Communications Technology, Towers and contingency plans. DFES future state/Kojonup current thinking.
5. DFES strategies for the region.

FYI - The Council is fully aware of our proposed meeting but Councillors will not be attending.

We are flexible on times so please liaise with Judy Stewart, cc'd, on aligning our schedules.

I look forward to catching up with you and having an open dialogue on the issues pertaining to this region.

Regards,

Grant Thompson

Chief Executive Officer

SHIRE OF KOJONUP

93 Albany Highway Kojonup WA 6395 | PO Box 163 Kojonup WA 6395

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FOR RECIPIENTS EXTERNAL TO THE SHIRE OF KOJONUP

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From: BURNELL Richard [<mailto:Richard.Burnell@dfes.wa.gov.au>]
Sent: Saturday, 29 January 2022 10:32 AM
To: GRANT Julie <Julie.Grant@dfes.wa.gov.au>
Cc: CARTER Murray <Murray.Carter@dfes.wa.gov.au>; Grant Thompson <ceo@kojonup.wa.gov.au>
Subject: Shire of Kojonup/DFES meeting

Hello Julie

Would you please liaise with the Shire CEO PA to determine a suitable day/time in March or April for Murray Carter and me to go there for the day.

Please liaise with Marcelle to ensure it occurs after the ERC meeting on our budget submission as I'll be committed prior to then to ensure our Minister is fully prepared.

regards

Richard Burnell

Executive Director Corporate Services

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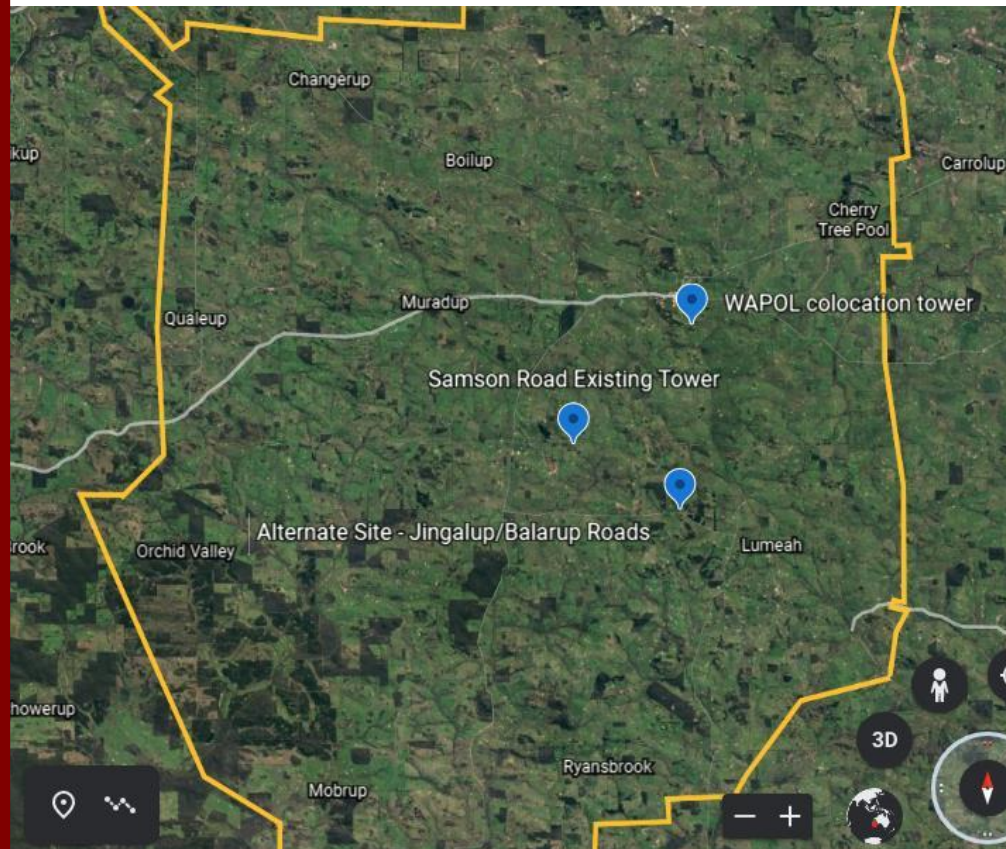
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Shire of Kojonup

Communications Tower Study



DOCUMENT CONTROL	
Shire of Kojonup PO Box 163 KOJONUP WA 6395 Ph: (08) 9831 2400 Email: council@kojonup.wa.gov.au	Document: Kojonup Tower Study – (V1.6) Client: Shire of Kojonup
	Project Manager: Anthony Middleton Author: Mark Toohey Date: June 2021
Synopsis: <p>This Communication Tower report, developed in consultation with stakeholders and subject matter experts examines the issues, scope and cost of feasibility options around options related to the existing tower at Samson Road and the consideration of a new tower on a site at Jingalup road.</p>	

DISTRIBUTION SCHEDULE			
Version No.	Date	Distribution	Reference
V1.0 – V1.5	23-Jun-21	Internal for review	Kojonup Tower Study – V1.5
V1.6	13-Aug-21	Client review	Kojonup Tower Study – V1.6

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Glossary

Site	Defined in detail here
Tower / Mast	Defined in detail here
Colocation	Defined in detail here
DEFS	Department of Fire and Emergency Services. Formerly FESA (2012)
ACMA	<p>Australian Communications and Media Authority.</p> <p>This body issues licenses per location, specifying all technical requirements including antenna height and type, radiated power and operating frequencies.</p>
WAERN	<p>DFES's WAERN (Western Australian Emergency Response Network)</p> <p>Kojonup High Band (on WAPOL tower) = 234</p> <p>Chowerup High Band Repeater = 229 is linked to 234</p> <p>It has been confirmed that Samson Road = Ch 41 Mid Band is also interconnected with WAERN at WAPOL tower.</p>
BFB	<p>West Australians (WA) in rural and pastoral areas rely heavily on Bush Fire Brigades (BFB) for fire prevention and risk management, fire suppression and fire safety education.</p> <p>In Kojonup, the mid band VHF Ch41 repeater currently installed at the Samson Road site, is described as the BFB repeater in the 2011 DFES report.</p>
VFRS	Volunteer Fire and Rescue Service (VFRS) members provide firefighting and prevention services

1.0 Overview

1.1 Executive Summary

This **Communication Tower report**, developed through consultation with stakeholders and subject matter experts examines the suitability, scope and cost of **options to meet the existing and potential future** tower and coverage needs of the Shire.

The existing tower at Samson Road is central to the study, and it, along with alternatives has been considered for options including “do nothing”, refurbishment, replacement, and relocation.

In this revision of the report (V1.6) we update for the results of the structural analysis of Samson Road received on August 11th in which the consulted Engineer determined it is overloaded and not recommended for refurbishment. Because discussions are still ongoing with NBN, this continues to be considered an interim report.

Additionally, this report:

- Considers [DFES recommendations](#) regarding practices and coverage outside of towers and sites; and
- Addresses each line of [Council Motion 126/19](#) (Special Council Meeting 5 Nov 2019)

1.2 Scope and Objective

As part of a staged approach, this is an initial study of options to evaluate which is the best and most cost-effective solution for the Shires **current actual** and **potentially expanded** tower needs.

The objective is to provide the Shire with a view of assessed options and indicative costs to aid in evaluation of which directions would be subject to a full feasibility study.

1.3 Brief history

It is approximated that in the 1970s (we have been unable to find conclusive dates) a guyed mast tower was built on private property at Samson Road. The tower itself is the property of the Shire and hosts their Works and Services VHF repeater, a DFES owned VHF mid band Ch41 repeater, and an out of service CB repeater.

Research has determined that there have been concerns and discussions over the **access to**, the **condition of**, and **coverage from** the site for a number of years, prompting the consideration of options.



2.0 Samson Rd: Access, Condition and Coverage Concerns

The review of options starts with a baselining of the existing situation and what drivers have been motivating the consideration of a change.

This site is the existing Shire owned tower on private land and is described in [section 5.1](#).

Research has identified three factors which are driving contemplation of a change:

- Access and Power;
- Physical Condition; and
- Radio Coverage.

2.1 Access and Power concern

Verbal inputs received suggest that there may have been incidents of vehicles traversing the private access to Samson Road without prior arrangement and at speeds which caused concern to the owners. It is understood that this resulted in some friction and discussion about relocating off the site to a Shire owned location. Further, historically the site drew power from the private residence, but that connection has been removed and the site runs on solar.

Conclusion:

CGS interviewed the owners of the Samson Road site, and,

- Found their requirements for arranged access (outside of emergencies) and speed constraints to be in line with normal industry standards;
- Established that they are not open to an alternative access across their arable farmland; and
- Understood from them that they are open to whatever decision the Shire takes, as long as those standard access norms are in place, should the Shire choose to remain.

Therefore, it is likely that any concerns over access and power can be successfully addressed through negotiations and that these items would not necessarily be cause to relocate off the Samson Road site.

2.2 Physical condition

Several sources and our own site visit confirm that there are concerns over Samson Road being fit for purpose in its current condition.

Per their 2020 report, DFES examined and rejected Samson Road **due to concern over its degraded condition** and decided to install High Band WAERN repeater on a West Australian Police tower (WAPOL Site) instead. They also cited site condition as an obstacle to the restoration of the CB repeater.

Accordingly, the Shire commissioned a structural analysis and report on the towers condition from Design Engineering Pty. Ltd. to determine.

1. If it is structurally fit for current purpose;
2. Its current load;
3. If it can be considered safe to climb;
4. The % of tower loading capacity in use for existing load, and therefore the % of capacity available for future additional load;
5. If the tower is viable for refurbishment; and
6. Cost Vs Benefit comparison of demolish and rebuild, including budgetary estimates;

The full report dated 11th of August has been shared and includes the following conclusions and recommendations

1. The mast in its present condition is showing an over stress of 13%.
2. The mast will not be suitable for any additional loading.
3. The horizontal bracing is not suitable as a cat ladder as per AS1657 standards.
4. The condition of tower base & anchor blocks footings are unknown as all are buried under ground.
5. No other anchor details are available.
6. There are no fall arrester points /position on tower as per AS1891.1-Industrial Fall -arrest system
7. Response to Client Requirements:

Fit for current purpose	No - structure over stressed
Current load	10.88 KN on Base
Safe to climb	No
% tower already in use	100%
% remain for additional load	0%
Refurbishment	No
Demolished	Yes
Estimated budget to demolish	\$10,000
Estimated budget to construct new mast	\$150,000

Therefore, according to this report, the Samson Road structure is overloaded for the Shires current needs and is not recommended for refurbishment.

Accepting the report means that the [“Do nothing”](#) and [“Refurbishment”](#) options have been closed and the Shire will now move into other options evaluating colocation and new tower build.

Consulting Great Southern believe that the remaining options are:

- [Colocate on an existing structure such as the WAPOL tower](#) in town where DFES has the high band repeater installed for a budgetary spend of c. \$50K plus an annual rent c. \$3K, or
- [Build a new tower with associated infrastructure at a budgetary cost of c. \\$250K](#) (potentially less as described in the report)

- Note the \$150K mentioned in the Engineers report is for a tower alone, no solar, no batteries, no mains connection, no equipment room, no installation and commissioning costs, no demolition or remediation cost.
- The location of a new tower, should the Shire be inclined to go that model over colocation, is a critical choice.
- According to the DFES reports on coverage supplied by council as part of the research material, the coverage is functionally equivalent at Samson road, WAPOL site AND the potential greenfield location on Jingaulup Road.
- However, DFES state that Shire should source its own RF coverage data if contemplating a large capital spend and CGS concur with that opinion.
- Rebuilding at the same site is one of the options the Shire might consider on the basis that the tenancy MOU is formalized to the satisfaction of all parties.

In anticipation, CGS has requested price and lead time indications to conduct coverage map studies for VHF mid and high band (and it may be valuable to examine UHF CB too).

These studies are done on a desktop and do not require any field work. The data that is required is the DFES radio power and sensitivity specifications. I have met with Allan Brown (DFES) and he has agreed to provide these.

2.3 Radio Coverage concern

in 2011 and 2020, DFES produced reports analysing the WAERN system coverage in the Shire.

In the 2011 report, DFES describes conducting a simultaneous drive test / RF mapping of both the Samson Road Mid Band Ch 41 and the WAPOL High Band Ch 234. They used a WAERN Project Vehicle and a Shire fire appliance (Kojonup 2.4R). After ensuring both repeaters were online, they compared results which are included and explained in the report, and in summary, they concluded:

Samson Road Vs WAPOL site:

- ***“.. the WAERN High Band repeater coverage (WAPOL site) provides comparable coverage to the BFB Mid Band repeater (Samson Road) at most of the locations tested.”***
 - It is noted that the antenna height at WAPOL is reported in the license as at 47m which may be worth investigating for potential of raising it.

Samson Road Vs Jingalup Road:

In the 2020 report, DFES included a comparison of radio coverage (Shadow Mapping) from Samson Road compared with the proposed alternative location at Jingalup Road. According to that report, a new 60m tower at Jingalup is predicted to provide:

- ***“good coverage but less than the area comparison of the (existing) linked 229 and 234.”***
 - DFES goes on to qualify that their shadow mapping is not guaranteed and that ***“The Shire should consider getting an independent analysis prior to committing to this (tower) expenditure”***

Conclusion:

In summary, the DFES technical report conclusions in 2011 and 2020 are:

- **2011-** WAPOL and Samson Road provide comparable coverage albeit with some variances, but “improved coverage” is not indicated as an expectation for moving off Samson Road to WAPOL; and
- **2020-** That a new 60m tower at Jingalup road would provide good coverage but less than the area comparison of the existing linked sites. Again, “improved coverage” would not be a trigger for moving off Samson Road to Jingalup Road.

Therefore, because neither of the alternative site options considered indicates improved coverage as an outcome, coverage would not be cause to relocate off the Samson Road site.

3.0 The Shires Tower Needs

3.1 Current needs:

1. The Shires VHF Mid Band Ch 41 radio network
 - a. (currently installed at Samson Road)
2. The Shires Works and Services Department Radio Network VHF
 - a. (currently installed at Samson Road)
3. The DFES VHF High Band WAERN Ch 234 linked with Ch 229 Chowrup repeater.
 - a. (currently installed at the WAPOL tower)

All of the tower options contemplated consider the current needs at a minimum.

3.2 Potential needs:

Per council meeting motion 126/19 from 5 November 2019, the following **potential uses** will be evaluated.

1. Re-establishment of the existing UHF CB repeater Ch3 – see 3.2.1
2. Community FM Radio Broadcast – see 3.2.2
3. Internet – see 3.3.3

3.2.1 Re-establishment of the existing UHF CB repeater



Figure 1: Out of Service CB Repeater Samson Road

Verbal input from the site visit is that this UHF Ch 3 CB repeater has been out of service for approximately 5 years.

Key point: In their May 2020 Report “Kojonup WAERN Coverage Review” DFES describes the repair and utilisation of this as an option to “**assist communications into the areas of concern**”

CGS was able to locate the original vendor and obtain indicative pricing of:

- Repair:
 - They reverted that the unit is 25+ years old and would not be viable to repair
- Replacement:
 - Indicative cost to replace with an ICOM repeater, including cables, antennas c. \$4.5k to \$6.0K plus site works and any needed power upgrade. For budgetary purposes CGS considers \$7.0K total reasonable.

Original Vendor detail: WACB Sales and Service. ken@wacb.com.au, phone 089 221 3800

Conclusion for this report. Considering the comment by DFES, CGS believes it prudent for the Shire to replace the unit when a decision is taken on what the tower solution will be.

3.2.2 FM Community Radio Study / interview with 100.9FM

CGS interviewed Mr. Ken Ewers-Verge of Albany’s 100.9 FM on 29th June 2021 to seek some initial guidance on the licensing and infrastructure requirements. While this subject would require a more detailed analysis starting with the Shires ambitions in terms of coverage area, the inputs from Mr Ewers-Verge indicate that the physical load on a tower is not large.

- 100.9 FM uses four (4) folded dipole antennas fed by coaxial cable. This load assumption could be analysed and reserved in any new tower design the Shire moves ahead with.

However, before anyone can launch a community radio station there is a licensing requirement from the **Australian Communications and Media Authority (ACMA)**. On their website they have:

- [About Community Broadcasting licences](#)
- [Apply for a community radio licence](#)

There is also a useful link on the website of **Community Broadcasting Association of Australia (CBA)** titled “[So you want to start a community radio station?](#)” which outlines the associated key questions and requisites.

Mr Ewers-Verge stated that he has over 20 years experience in community FM and offered to assist with planning and sourcing of equipment if the Shire moves forward. He agreed to share his contact details in this report and is on mobile 0408 335 241. While costs vary widely depending on the intended footprint and standard of equipment, he indicated that at the low end a basic set up might cost in the region of \$30,000 excluding the tower.

Conclusion for the purposes of this report is that based on the light antenna load used by 100.9FM in Albany, the Shire could assume an equivalent load of 4 folded dipole antennas with coaxial feeder

cable in planning for tower structural capacity on any new structure. It is a minor load and would be unlikely to impact on the structure weight or cost.

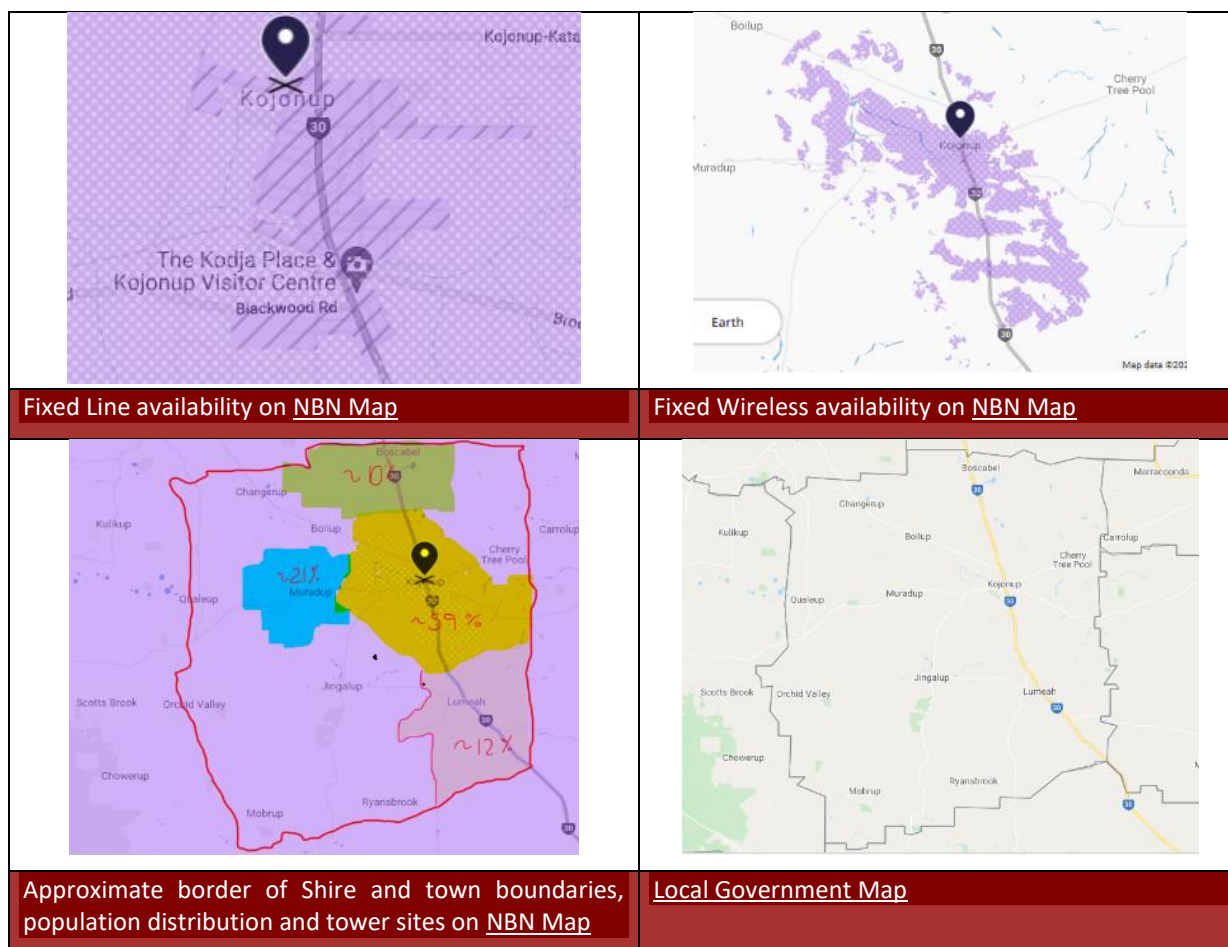
3.2.3 Internet

In special council meeting of 5 November 2019, motion 126/9 para 1.f “Internet” is listed as a potential future service / use for a tower.

Initial research indicates that internet access in Kojonup is accessible over Mobile Phone network or from retailers who are “on- selling” retail plans from the access they purchase wholesale from NBN.

The NBN website indicates that **all the Shire of Kojonup** is within their service area by one of three technologies. Ranked from typically “fastest/most ideal” to “slowest/least desirable”, they are:

1. Fixed line in the centre of Kojonup Town
2. Fixed Wireless in some areas around town; and
3. Satellite for the rest of the Shire;
 - a. The violet fill colour represents Satellite option is available;
 - b. Note this image also shows an approximation of Shire and designated town boundaries, population distribution and the Samson Road, Jingalup Road and WAPOL tower locations.



Key to NBN images:







 Service available area ⓘ  Build commenced area ⓘ  Other fibre provider area ⓘ	 Fixed line ⓘ  Fixed wireless ⓘ  Satellite ⓘ
Rollout Status	Service Type

Figure 2: Images of NBN services by area and population estimates

3.2.4 Approximation of population distribution relative to NBN technology

To enable the study of how internet might be improved, CGS has done a preliminary study of population distribution relative to NBN services and the tower locations considered in this report.

Data is sourced from Wikipedia and ABS census data from different years. Therefore the analysis is considered indicative, not conclusive.

- Whole LGA population c. 2000;
- 2.3 persons per household;
- Township population c. 1300:
 - Therefore, c. 700 ppl live outside of the township of Kojonup in c. 300 residences;
 - Data sources for population in towns roll up to 2,300 over 5 named towns (300 people or 15% more than 2016 census) Furthermore, I found no population data for the other towns; and
 - CGS considers that even with the margin of error at around 15%, that this analysis will likely be sufficiently indicative.

Internet Search: Towns and localities per Wikipedia	Indicative Accumulative Population	Indicative % Avg 2150 (107%)
<ul style="list-style-type: none"> • Kojonup – pop 1,265, 2016 census • Muradup – pop 464, 2006 census • Lumeah- pop 258, 2011 census • Boscabel – pop 218, 2006 census • Jingalup – 111, 2016 census • Cherry Tree Pool • <u>Mobrup</u> • Qualeup • Wahkinup 	<ul style="list-style-type: none"> • 1265 • 1729 • 1987 • 2205 • 2316 	<ul style="list-style-type: none"> • 59% • 21% • 12% • 10% • 5%

Table 1: Approximated Population Distribution

3.3 NBN Regional Co-Investment Fund

At Shires request, CGS has initiated communications with NBN over their Regional Co-Investment Fund.

CGS is exploring if a new tower could be **leveraged as an “in kind” contribution** to a project which **expands fixed wireless access** to population which is currently **limited to satellite**. This concept should align with their para 4.3.2. Other criteria including budget and premises improved must also be met.

Reference the following sources:

1. NBN Covering email- “regional co-investment fund guidelines released;
2. NBN Regional co-investment fund guidelines; and
3. Web Search of regional broadband funding scheme, Regional Broadband Scheme (RBS).

3.3.1 Summary of Fund:

1. NBN is the wholesale distributor of internet access to retail providers – fixed price / level playing field for retailers;
2. According to their material, NBN is pulling forward expansion and capacity upgrade work to the value of \$4.5Bn due to covid19 driven demand; and
3. Of this, c. 6.7% or \$300M is designated as the regional co-investment fund (the fund) for equitable access across all States and Territories, by all levels of Government.

Co-investment is being offered to all levels of Government, to improve broadband in locations which **“would otherwise be sub-commercial”**, and:

- NBN will own and maintain any resulting infrastructure
 - CGS will explore this further for this “in kind” scenario.
- NBN will be the sole recipient of any consequential revenue

Eligibility. The referenced NBN material highlights a desire to **migrate / technology change** clients off satellite to fixed wireless, and off fixed wireless to fibre to the premises, where

1. Majority of premises are currently served by Satellite or Fixed Wireless
 - a. **MT comment:** Analysis indicates that [c. 21%](#) of the population (~460 pop, ~ 200 households) live in Muradup and can only access nbn satellite).
2. The project serves over 50 premises
 - a. **MT comment:** While other town areas would also benefit, a project which addresses Muradup would cover ~ 200 households.
3. The project cost is at least \$500K total build cost.
 - a. **MT comment:** A new tower and all associated costs is reasonably approximated to \$250K, implying that the NBN components would need to cost c. \$200K to qualify.
4. The proposal doesn’t overlap existing upgrade plans. (refer 3.2.3)
 - a. **MT comment:** [Map](#) shows that the entire Shire is in a service available area with the Kojonup Town served by Fixed Line, urban areas by fixed wireless and the remainder by satellite. Therefore, for Kojonup it appears that there is scope to migrate premises off Satellite to Fixed Wireless, aligning to the eligibility criteria.
 - b. **MT comment:** [Map](#) does not show any area in the Shire as “build commenced”, or “other fibre provider area)
5. The proposal delivers significant community benefit; and

- a. *MT comment:* this would likely be ok
- 6. The project is outside of designated “major urban” areas
 - a. *MT comment:* this would likely be ok
- 7. Co-investment agreement can not included any non government parties. (p 4.2.1)
 - a. *MT comment:* this could be an issue if the Shire is planning to use a grant.

In-kind contribution. Important for Kojonup. That is, if Kojonup build a tower which they want irrespective of NBN for other justifications, the value of the tower can potentially count as a in kind contribution. (para 4.3.2)

Application Process. (Para 5).. Starts with little to no overhead for the Shire. NBN does a build quote and by step 6 would submit an application.

- If the Shire decides to proceed to build a new tower for WAERN / MidBand Ch 41, subject to approval of the concept, they could potentially have NBN recognise the tower as “in-kind” contribution and expand the fixed wireless coverage.
- This is very early in the process and it is not possible to estimate the probability of success.

Observations

- Migrating premises toward fiber, off Satellite or Fixed Wireless provides clear benefits to NBN and retail on-sellers.
- The Shire would be contributing funds toward infrastructure with no direct commercial benefit. The incentive being tabled is the consequential benefits of higher community broadband access.
- It is more typical that retail carriers, not governments, would co-invest in expanded infrastructure into marginal areas, typically with funds levied specifically for that purpose.
- In Australia that levy is the Regional Broadband Scheme (RBS), and, the Commonwealth Regional Connectivity Program
- The Regional Broadband Scheme (RBS) is a levy on all retail carriers of \$7.10 per month per residence or business which has a broadband or local access line. The purpose is to “fund the loss making components of the NBN (i.e. fixed wireless and satellite services) through a levy on fixed line infrastructure providers. Therefore, it would appear that asking any level of Government to coinvest with no ownership or revenue share is shifting the responsibility for funding of regional broadband infrastructure onto rural residents.
 - ACMA website advise to carriers: [here](#)
 - ACCC RBS Levy report: [here](#)

3.3.2 Fund Estimated timeframe: (Ref their para 3.2)

- Guidelines released and applications open 23 June 2021;
- Closing date for receiving build estimate requests 5pm 1 October 2021 (AEST);
- Closing date for receiving build quote requests 5pm 19 November 2021 (AEDT);
- Closing date for receipt of Applications 5pm 18 February 2022 (AEDT);
- All upgrade work expected to be completed by 30 June 2024;
 - *MT comment:* No Schedule Risk to the fund and potentially aligns with Shires timeline to resolve any tower project.

3.3.3 Next Steps

- CGS has established dialogue with NBN and will work through the process on behalf of the Shire as directed, keeping the Shire engaged and informed.

4.0 Site Details

4.1 Samson Road Site – BFB Mid Band and Shire Works Radios

4.1.1 Summary

Shire owned tower on private land. Hosts the DFES Mid Band Ch 41 and the Shires own Works and Services repeater. The c. 55m guyed mast tower is aged and a [structural analysis has been conducted](#) to baseline the existing situation as an input to the consideration of the Shires options.

Located c. 700m to the NW of the residence of Melissa and Stacy Williams.

- Lat-33.927939, Long 117.080342, Elevation 364.4m.

The tower reputedly dates from the 1970s although we have been unable to establish this through references such as approvals or construction drawings.

4.1.2 Equipment installed

The site hosts the Shires VHF Mid Band channel 41 Bushfire/VFRS repeater, the Works and Services Department repeater, and an out of service UHF CB radio repeater, reportedly out of operation for around 5 years.

The site is solar powered with a 6-panel array and batteries. There is no mains / 240V power.

There is a small 3m x 3m equipment room.

4.1.3 Concerns over Condition, Access and Power, and Radio Coverage

Refer Paragraph 2.1 to 2.3 for detail.

In summary,

Condition – Site was rejected by DFES for WAERN. Structural Analysis report states that it is overloaded and not compliant with the applicable standard for safe climbing.

Access and Power – Reportedly incidents in the past caused friction. It is believed these items can be resolved through negotiation with the site owners.

Radio Coverage – Two DFES studies to compare Samson Road with coverage from WAPOL and from Jingalup Road locations did not conclude that either option would provide better coverage. Therefore, coverage improvement would not be cause to relocate off the Samson Road site.

4.1.4 Suitability

In this revision (V1.6) [the result from the structural analysis](#) has been received. The consulted Engineer has established that the tower is overloaded for the current needs and is not suitable for refurbishment.

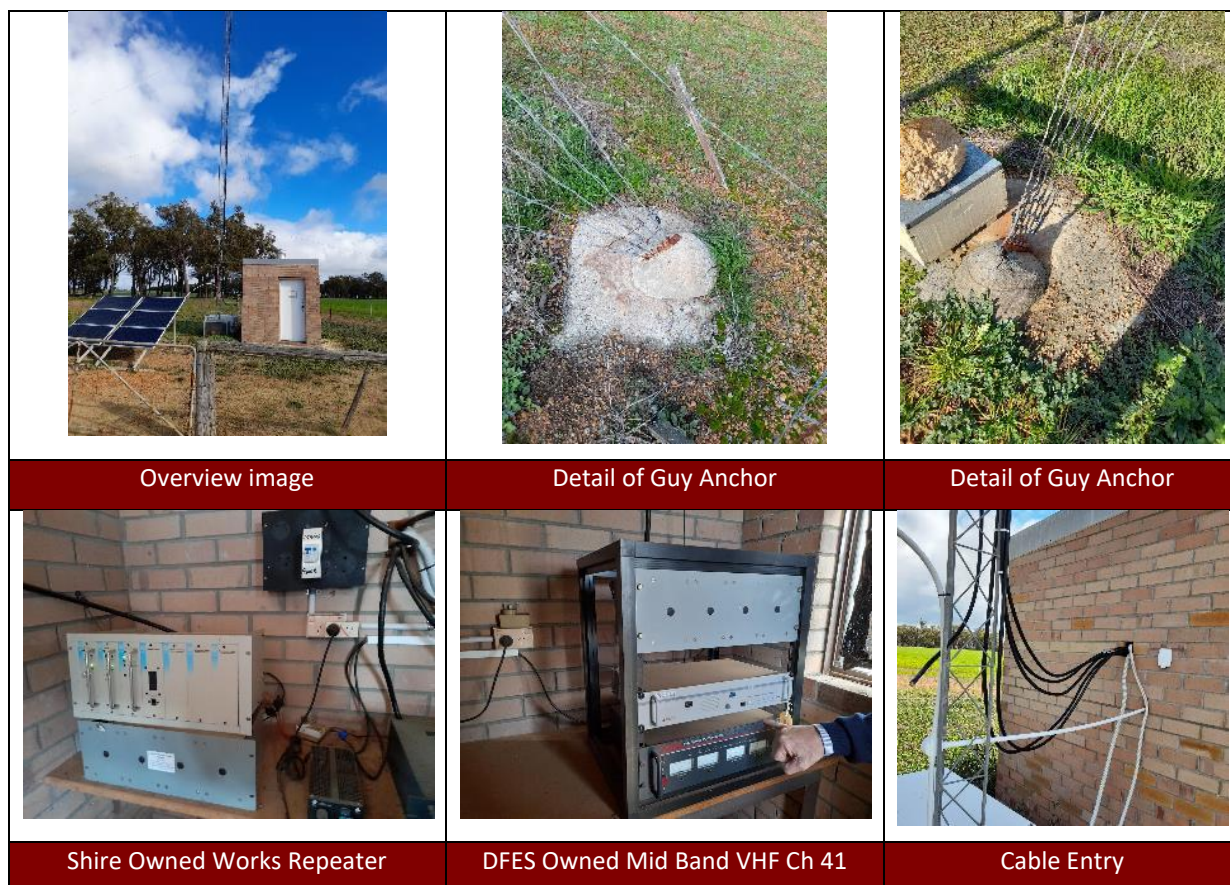


Figure 3: Images of Samson Road Site

4.2 WAPOL Colocation site – DFES WAERN

4.2.1 Summary

WA Police owned tower on private land. Hosts the DFES High Band WAERN Ch 234 as a colocation tenant. The c. 55m guyed mast tower is in good condition and initial investigation indicates that it is likely a viable alternative if the Shire moves off Samson Road.

Located on private land c. 2.5Km to the South of Kojonup town centre.

- Lat-33.857273, Long 117.164445, Elevation 368m.

4.2.2 DFES site selection

When deploying their WAERN project, DFES examined the Samson Road site, and due to “concerns with the structural integrity and condition of the existing tower” decided to co-locate the Kojonup WAERN Ch 234 repeater onto the West Australian Police Force (WAPOL) tower.

Per DFES input, the Kojonup repeater Ch 234 is linked with the Chowrup repeater Ch 229 and Samson Road Mid Band Ch 41. There are other tenants on the tower.

4.2.3 Radio Coverage

In their May 2020 report “Kojonup WAERN coverage review” DFES compare the coverage expectation for these two linked repeaters versus a new 60m tower at Jingalup Road. According to that report, a new 60m tower at Jingalup is predicted to provide **“good coverage but less than the area comparison of the (existing) linked 229 and 234.”**

Therefore, DFES are effectively stating that this existing installation of WAERN on WAPOL linked with Chowrup is providing more coverage than a prospective new 60m tower at Jingalup Road.

4.2.4 Suitability

Preliminary investigation with WAPOL indicates that the Shires current needs **could be met through colocation** of the Samson Road radios onto this structure where the DFES WAERN is already located.

The process requires a formal application and separate leases with WAPOL for the tower and the land owner for access. Initial input from WAPOL suggests the annual colocation costs would be c. \$3,000

Capital costs would be relatively low in comparison to the construction of a new tower and would include equipment relocation from Samson Road and any power related cost.

Note that other colocation prospects exist in the Shire which were not reviewed in detail. WAPOL is considered initially because it already hosts the DFES High Band Ch 234.

4.2.5 Police tower on offer

The Council resolution of 5th November (motion 126/19) included reference to “Utilising the tower on offer from WAPOL”

CGS viewed the tower in question. It is laying flat on the ground adjacent to the standing WAPOL guyed mast. We observe that it is incomplete and would not be suitable for the needs of the Shire. 4 sections are on site and it appears other sections have been removed. **Image below.**

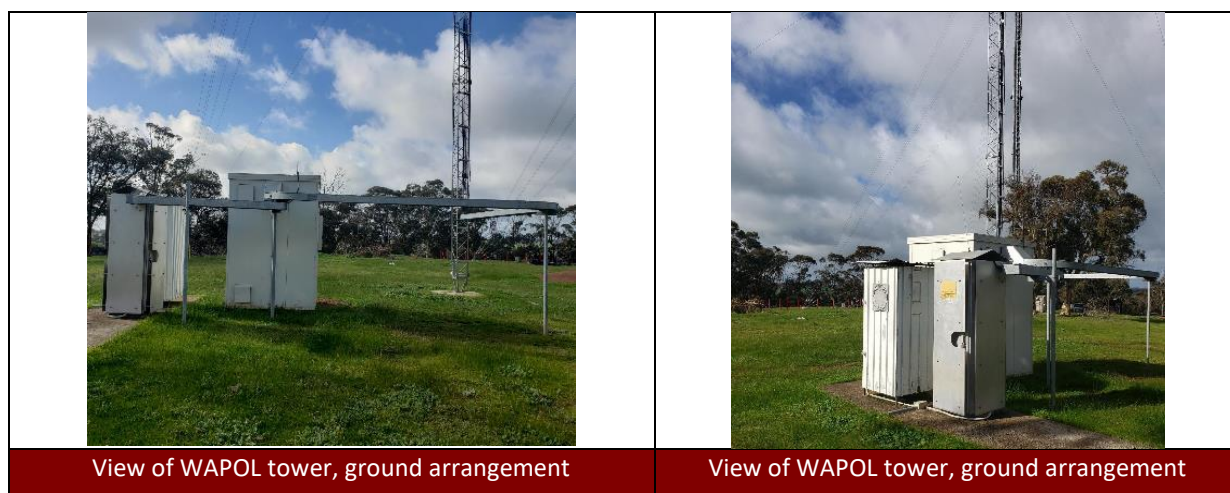




Figure 4: Images of WAPOL Site

4.3 Corner Jingalup and Balarup Roads – Prospective new tower site

4.3.1 Summary

The Shire has been investigating this location for a potential new tower build in the event a decision is taken to relocate off Samson Road. The land is owned by the WA State Government and would require a process to transfer to Shire. The DFES 2020 report states that a 60m tower on this site would provide “good coverage but less than the area comparison of the (existing) linked 229 and 234”

If built, this tower would host the equipment from Samson Road as well as the DFES WAERN from WAPOL. (DFES will cover the cost of the equipment relocation from WAPOL to new tower)

Located on WA owned road reserve, c. 14Km to the South of Kojonup town centre.

- Lat -33.966608, Long 117.156119. Elevation 387.0m.

4.3.2 Description

The location is flat with good access over well-maintained gravel roads.

There is no visible mains power adjacent to the site. The likely closest mains power is along Jingalup Road as there is a residence approx. 450m West of the site. It is noted that the existing site used only solar and battery, however the Shire has listed a range of additional services for consideration and a mains power primary source may therefore become desirable.

4.3.3 Alternative:

Shire Officer Robert Jehu mentioned that the landowner across Jingalup road may be prepared to allow the Shire free of charge use of a site for this purpose, documented by a caveat. If that is the case, and if the Shire determines to go ahead with a new tower, the land is **slightly higher** on that side of the road and **would not require the process of ceding from State to Shire**. It would require a

well written contract protecting the Shires rights of access and ongoing use free of charge. This should not be investigated further until a determination is made on the need. The elevation is 389.4m

4.3.4 Radio Coverage

In their 2020 report, DFES included a comparison of radio coverage (Shadow Mapping) from Samson Road compared with Jingalup Road. According to that report, a new 60m tower at Jingalup is predicted to provide:

- ***“good coverage but less than the area comparison of the (existing) linked 229 and 234.”***
 - DFES goes on to qualify that their shadow mapping is not guaranteed and that ***“The Shire should consider getting an independent analysis prior to committing to this (tower) expenditure”***

Therefore, the statement “improved coverage achieved from Shadow Testing undertaken by DFES” is not in alignment with the DFES reference material.



Figure 5: Corner of Jingalup and Balarup Roads, looking North

4.3.5 Suitability

Based on DFES inputs, this location and the alternative across the road could meet the Shires needs, providing “Good” coverage if it is decided to exit from Samson Road. The construction of a new tower on any site is the highest capital cost solution, estimated at c. \$250K for all related work.

4.4 Chowerup Repeater Site

4.4.1 Summary

Located outside of the Kojonup LGA to the South West, this site is currently linked to the DFES Kojonup 234 installed on WAPOL tower, **and per DFES would remain so if 234 was to be relocated.**

None of the options evaluated would change or impact Chowerup Repeater. It is included in this report as the link to this repeater is an integral part of the Shires DFES WAERN coverage solution for Kojonup LGA.

4.5 Muradup Shed

4.5.1 Summary

The Council resolution of 5th November (motion 126/19) included reference to this shed as follows:

- “Cost to Relocate the Muradup Shed which permits all weather protection for new batteries and installation of new solar panels to the Jingalup site”



Figure 6: View of “Muradup Shed”

The site identified to CGS is described as an out of service satellite station.

The equipment room appears to be in good order and there is a high probability that it could serve the Shire if repurposed and relocated.

Note that only external views were possible and a more detailed inspection will be required.

Its size would likely suit a rack mount arrangement of radio repeaters and a battery back up bank. It would not be adequate to host a Solar Panel Array, any such array would need to be located adjacent to the “shed”.

5.0 Summary of Options and Recommendation

5.1 Summary

CGS considers that the analysis has revealed the options listed below. In this update (V1.6) the survey of the Samson Road existing tower concluded that “do nothing” and “refurbish the existing site” are not viable.

If for any reason the Shire decides to relocate off Samson Road there will be site demolition costs in addition to the capex required for **either** the **new colocation** (c. \$50K) or **new tower** (c. \$250K) build option selected.

CGS has noted that DFES made several recommendations regarding practices and coverage outside of towers and sites. The Shire may wish to adopt those suggestions regardless of which tower solution is chosen.

5.2 Do Nothing

- a. This option was definitively examined by the Tower Survey ordered by the Shire on 20th July 2021. The report states that the Samson Road tower is overloaded and not viable for refurbishment.
- b. On this basis, this option is considered closed.

5.3 Refurbish the existing Samson Road site

- a. This option was definitively examined by the Tower Survey ordered by the Shire on 20th July 2021. The report states that the Samson Road tower does not meet the applicable standard for climbing and is not suitable for refurbishment.
- b. On this basis, this option is considered closed.

5.4 Demolish and remove the existing tower

If the preceding options are rejected either by choice or through technical impossibility, all of the remaining options:

- involve a replacement tower either through [colocation](#) or new construction
 - New construction could be on the same Samson Road site, or on a new location such as [Jingalup Road](#)
- incur a demolition and site clean-up cost for Samson Road
 - The estimated cost to demolish and remove the site is c. \$20K and may be reduced through negotiation with the land owners; and
 - If Shire decides to leave Samson Road the lease will need to be reviewed for termination clauses.

5.5 Colocate

The lowest capital cost option in the event of moving off Samson Road would be colocation onto an existing tower.

In this analysis, CGS has considered the [WAPOL tower](#) where DFES has installed the high band WAERN and performed coverage analysis as described [here](#).

This Police owned site at Lat -33.8574372, Long 117.164908, Elevation 367.3m is 11km to the NE of Samson Road on the property of Kevin Broom (0407 089 430) off # 6 Stock Road.

This site was **selected by DFES to install WAERN** when they had concerns over the condition of Samson Road.

The WA Police Radio and Electronics Services Unit (Karl Carter, 08 9370 7441, karl.carter@police.wa.gov.au) assisted with initial queries. Specific details will be provided upon formal application. He provided budgetary estimates on leasing.

Estimated Costs (ex GST) - to be validated if pursued further. Capital costs potentially lowered through RFQ process.

- **\$3K Indicative Annual Lease Cost, inclusive of:**
 - \$3K inclusive of leases to WAPOL (joint facility) and Landowner (Access)
- **\$50K Indicative Capital costs, inclusive of:**
 - Required reports
 - Cabinet relocation, Electrical Connections
 - Installation and commissioning of Ch 41 DFES and Shire Ops Repeaters
 - Replace and commission [CB repeater](#)
 - Battery back up dimensioned for load – to be finalised.
 - Professional Fees / RF planning / Licensing
 - (assumes no Solar, no fencing, and re-use of shelter from Muradup)

5.6 New Construction

A new tower could be built either on [Samson Road site](#), or on a new location such as [Jingalup Road](#). New construction is the highest capital cost option.

Estimated Costs (ex GST) - to be validated if pursued further and potentially lowered through Tender process.

- **\$250K 60m guyed mast tower, inclusive of:**
 - Geotechnical investigation
 - Construct new foundations
 - Supply and erect new mast
 - Supply fall-arrest device
 - Provide structural certification
 - Required reports
 - Cabinet relocation, Electrical Connections
 - Installation and commissioning of Ch 41 DFES and Shire Ops Repeaters
 - Replace and commission [CB repeater](#)
 - Battery back up dimensioned for load – to be finalised.
 - Professional Fees / RF planning / Licensing
 - (assumes no Solar, no fencing, and re-use of shelter from Muradup)

5.7 DFES recommendations regarding practices and coverage

In their report “Kojonup WAERN coverage Review” May 2020. DFES has emphasised the importance of the following items.

The Shire may wish to implement these suggestions irrespective of any tower related decision.

- Training needs assessment, and subsequent training on [established channel schemes](#) in order to reduce the risk of congestion on the WAERN network
- Identification of [potential vehicle-based retransmission sites](#) to address any coverage gaps
- [Re-establishment of the CB repeater](#) which is out of service on Samson Road to reduce risk of congestion on the WAERN network

5.8 Conclusion and Recommendation

With the NBN Co-invest concept being introduced, it could be argued that no recommendation should be made until the outcome of that discussion is known. If a new tower can be leveraged to improve internet access for a significant portion of the population then that would be an important consideration. NBN will be focussed on their needs, not DFES / WAERN / Shire operations and this analysis must determine if one tower is capable of meeting both sets of requirements. Contact has been established, the Shire has signed a NDA and CGS is following up with NBN.

A large part of this study was to understand the drivers which have led to years of discussion and contemplation of moving off the Samson Road Site. The drivers were concerns over access and power, radio coverage and tower condition. Analysis of the material provided finds that access & power and radio coverage DO NOT present a compelling case to move. The indicative capital cost of a move ranges from c. \$50K for colocation (with a small ongoing annual rent) to c. \$250K for a new build guyed mast tower.

The structural analysis report concludes that the existing tower at Samson road is overloaded and not suitable for refurbishment. On that basis the options of “do nothing” and “refurbish” are considered closed. The Shire would therefore look at the colocation and new build options described within this report.

The key points are:

- **Sites:** All 3 sites considered are considered technically suitable based on the DFES studies of coverage comparisons from Samson Road, WAPOL tower and a new 60m tower at Jingalup Road.
- **Towers:** Samson Road tower has been assessed as unsuitable. The WAPOL colocation is very likely suitable, subject to an application process, and a NEW tower on either Jingalup Road or Samson Road (or other potential sites) would certainly meet all current and potential needs as reviewed in this report.
- **Colocate or Build:** Colocation is clearly the lowest capital cost option if the Shire exits Samson Road.

- Irrespective of whichever tower option is adopted, the Shire may adopt the non-tower related [recommendations](#) for improvement of DFES related radio communications.

At this time, CGS considers this version to be an interim report pending further input from NBN and makes these formal recommendations.

Recommendation 1: With NBN potential to bring fixed wireless internet to a significant percentage of the population, it is recommended that the Shire does not commit to a decision on relocating or rebuilding without including that information;

Recommendation 2: It is recommended that the Shire adopts and commits to the non tower related DFES recommendations as set out in their 2020 report “Kojonup WAERN coverage Review” May 2020 for a) training needs and subsequent training of established communications plans b) location of vehicle repeater sites, and c) re-establishment of the CB repeater; and

Recommendation 3: That the Shire direct Consulting Great Southern to work through the NBN co-investment fund process on established schedule of rates informing and engaging the Shire until directed otherwise, or the process concludes.

6.0 Appendices

6.1 DFES report “Kojonup WAERN coverage Review” May 2020

Content Summary:

- Report dated May 2020 is built on their earlier Kojonup WAERN Coverage Review of Sep. 2011.
- Describes reported WAERN coverage concerns and steps taken by DFES to address them.
- Speaks to selection of a **Collocation with WAPol** for Kojonup Ch 234 **over the Samson Road** site.
- Sets out the comprehensive remedial works conducted in 2019/20, including:
 - Identification and elimination of tower noise generated by surplus hardware;
 - New Antennas and feeders;
 - New repeater hardware and software configuration;
 - Antenna orientations to improve coverage in the Southwest;
- States that despite these measures there are continued reports of problems with Ch 234 in the SW of the Shire; and
- Suggests **further remedial options**, summarised below.

Training and use of pre-formed communications plans

The report notes that:

- A further 8 repeaters contribute coverage to Kojonup;
- The linked repeater Chowrup (229) shows good coverage over the main areas where concerns have been raised (South West);
- There is a risk of congestion issues if every radio in the Shire is on High Band 234, Mid Band 41 or High Band 234 and therefore notes that ***“it is imperative that the pre-formed communication plans for Kojonup are utilised at all incidents” (provided in annex C of that report)***
- The conclusion is that Local Government, Incident Management Teams, the BFB, the VFRS and the DFES share the responsibility to ensure that all responders are “trained and competent” with the plans for repeaters in and around the Shire.

Repair and utilization of the out of service CB repeater at Samson Road

The report notes the CB repeater (Ch 3) which is installed at but out of service:

- could assist communications into the areas of concern; and that
- the main impediment to this is concerns over the condition of the guyed mast.

The identification of potential retransmission sites

The report proposes that DFES Operational Communications work together with the region and local representatives to map suitable locations where a vehicle could park and serve as a temporary retransmission site for the management of an incident utilising the communications plans.

The potential new tower at Jingalup Road

The report notes submission of a proposal for a new 60m tower at Jingalup Road.

DFES compare the coverage expectation for the two existing linked repeaters (Kojonup and Chowrup) versus a new 60m tower at Jingalup Road.

According to that report, a new 60m tower at Jingalup is predicted to provide ***“good coverage but less than the area comparison of the linked 229 and 234.”***

Conclusion:

In their conclusion, they state their position that:

- The communications plans are reviewed by LG with assistance from DFES regional office;
- Training needs analysis be undertaken for the communications plans

6.2 Minutes of Shire Council Meeting, motion 126/19.

Refer original for complete details, content summary and links to report follow:

- **Mr Digby Stretch, Kojonup Bush Fire Association President** (24 October 2019). Refer Para 14.1, P 29 of Ordinary council Meeting 18 Aug 2020 for full text. In summary:
 - Provided Shadow Maps for existing mid band tower and a new 60m at the proposed Jingalup site.
 - Concludes that he considers the Jingalup site better overall relative to the existing mid band repeater site.
 - [Review here regarding coverage](#)
- **The Council resolution of 5th November (motion 126/19)**
 - Ascertain DFES funding criteria to build a tower capable of supporting the uses below
 - Shires mid band radio network (Ch 41) - [see here](#)
 - WAERN - [see here](#)
 - Shires Works and Services radio network - [see here](#)
 - CB Radio Community FM Radio - [see here](#)
 - Internet - [see here](#)
 - Cost a new tower and associated network at Jingalup “given improved coverage achieved”
 - [Review here regarding coverage](#)
 - [Review here regarding budgetary cost](#)
 - Land Tenure requirements at Jingalup Road
 - Refer inputs from Shire
 - Land has not yet been ceded and requires a process
 - New tower design considerations including weight and structure integrity (capacity) especially if using the tower on offer from WAPOL
 - [Refer here](#) regarding budgetary estimate
 - [Refer here](#) regarding the tower from WAPOL
 - Cost to Relocate Muradup Shed to house new batteries and install new solar panels at new site
 - [Refer here](#) for analysis
 - Include fencing, access, relocation and new aerials in new build budget / tender.

- Mentions relocation of WAERN, but, the DFES report has stated DFES would cover a relocation cost
 - [Refer here](#) regarding budgetary estimate
- Cost to dismantle and rehab Samson Road
 - [Refer here](#) for cost estimate
- Advise to be sought from DFES as required
 - [Refer here](#) for contact that has input into this report
- Lodge an application seeking LGGS Capital funding based on the above
 - Shire process after selecting an option

7.0 Definitions

7.1 Tower

The word “Tower” is generic for a range of structure types. The structure type for any given requirement is determined by evaluation of the planned use. The cost is a function of the required height, the planned load, and the wind and seismic characteristics of the planned location. All those factors determine the structure weight, the requirements for its concrete foundations and therefore the cost. Types of structure include:

- Self supporting steel towers -typical for urban, sub urban, and rural applications where there is insufficient space to a guyed mast or that the analysis of planned load makes it the most effective option.
- Guyed masts – derive their strength from steel “guys” or “stays” radiating from a relatively small and light mast structure. This solution requires a large area of land and is commonly found in lighter, rural applications. Guyed masts are typically less expensive than a self supporting structure for a given height.
- Posts – can be steel or wood. Installed free standing like a lightpole, this type of structure suits lighter applications where the relatively low achievable height will meet the demands of the planned use.
- Rooftop tailored solutions – typical in cities and towns where rooftop space can achieve the required antenna height and load.

7.2 Site

A tower is one key component of a “Site” which typically includes other related infrastructure, all of which are considered within scope of this study if identified as applicable during analysis of the Shires needs:

- Equipment housing cabinets or shelter/s;
- Power related items, such as:
 - a power meter / pole where mains power is available;
 - a generator and fuel tank;
 - Solar panels;
 - Battery Banks;
 - An Engineered grounding system;
- Tower lighting requirements;
- Security related items, such as
 - Fencing;
 - Gates;
 - Signage;
 - Locks;
 - Alarms;
 - Lighting, Cameras or other security features; and
- Access to the site from the nearest public road.

7.3 Co-location

Co-location is the sharing of a site by multiple users with the intention of reducing infrastructure cost, visual and environmental impacts.

The structure owner bears the capital cost of construction, the maintenance costs and either owns or leases the associated ground. They seek to commercialise the available tower and site capacity through leasing space to other users.

The users are typically tenants with a lease agreement defining the load which they may install upon the structure. The lease agreement may extend beyond tower capacity to other add on services such as ground space, equipment room space, primary and back up power.

In Kojonup, colocation may be attractive as an alternative to the construction of a new tower, if:

- The Samson Road site is found to be unfit for purpose, or the Shire decides to move for any other reason, and
- There is found to be an existing structure(s) in the Shire which could meet the needs provided by Samson Road today

For the purposes of this report, CGS has looked at colocation potential on WAPOL tower:

8.0 Acknowledgements

CGS wishes to acknowledge the following SMEs who contributed to this analysis

- Stacy and Mellissa Williams – Owners of Samson Road property
 - Background and concerns / solutions
- Bob Francis – BFB- 0418940644
 - SME on the history of the site
- Denise Berryman – BFB- 98321041
 - SME on the history of the site
- Tyrone Cripps – Albany Communications
 - indicated that he is able to quote on repairs and connected CGS with
- Allan Brown -DFES (Perth)
 - Knows all of the details in the DFES reports, and connected CGS with
- Darrell - D&J Communication (Manjimup)
 - Darrell can quote for repeater relocation services, is familiar with Samson Road
- Malcolm – WA Tower Service (Bunbury)
 - Malcolm can quote tower demolition and construction
- Ken Marsh – WACB Sales and Service (Perth)
 - Provided the currently out of service CB repeater and associated estimates
- Karl Carter – WA Police
 - Information on colocation at WAPOL site
- Rachel Connelly – METS (Perth)
 - Inputs on tower structural analysis
- Craig Cooper – Roam Engineering (Perth)
 - Budgetary cost of new tower

For further details on this report please contact:



Shire of Kojonup

PO Box 163, KOJONUP WA 6394

93 – 95 Albany Highway, KOJONUP

Ph: (08) 9831 2400

E: council@kojonup.wa.gov.au



Consulting Great Southern

ABN: 97 685 677 422

PO Box 2049, ALBANY WA 6331

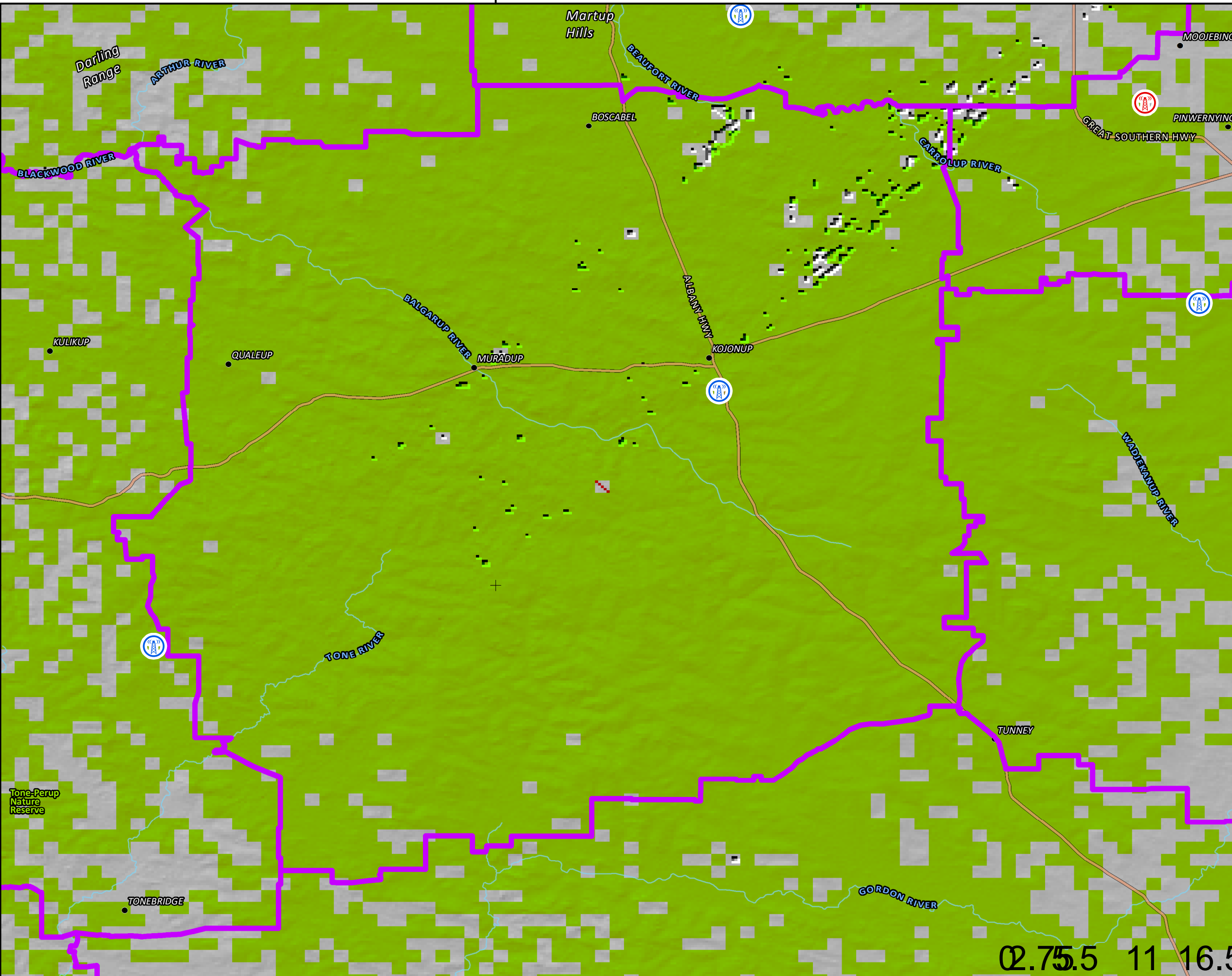
Unit 2 / 266 York Street, ALBANY

Ph: 0419 437 369




E: mark@consultinggreatsouthern.com.au

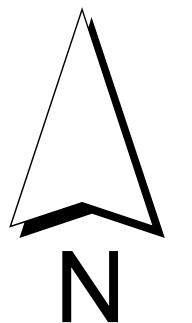
JingalupTower Site - 60 m Tower

117°0'0"E



Legend

-  DFES_WAERN_Repeater_Locations
-  DPaW_WAERN_Repeater_Locations
-  Landgate_LGA



0.75.5 11 16.5 22

Kilometers

117°0'0"E

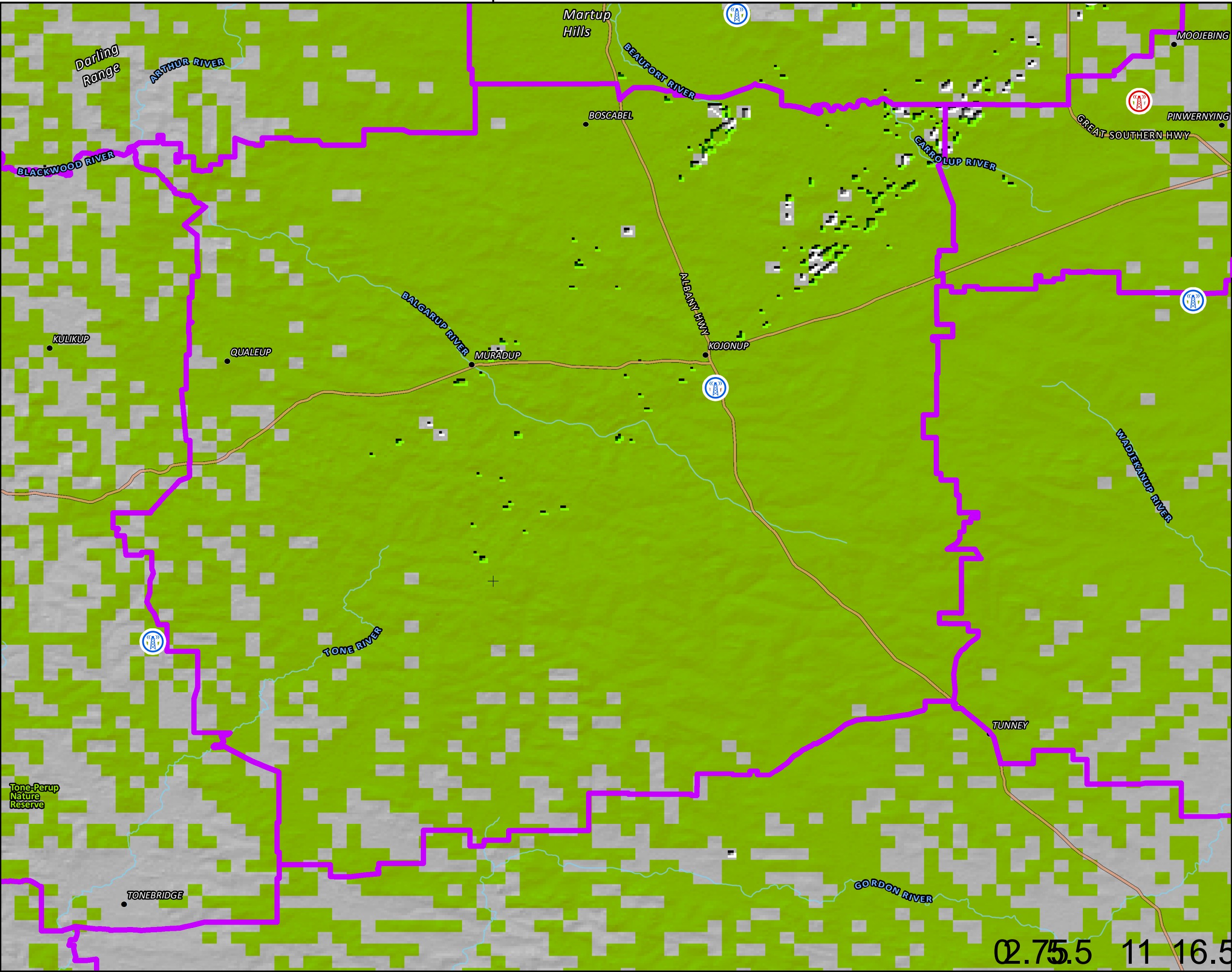
34°0'0"S

34°0'0"S




Tone-Perup
Nature
Reserve

Kojonup Tower Site - 60 m Tower

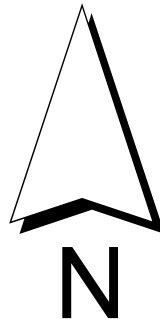
117°0'0"E



Legend

-  DFES_WAERN_Repeater_Locations
-  DPaW_WAERN_Repeater_Locations
-  Landgate_LGA

34°0'0"S



0 2.75 5.5 11 16.5 22

Kilometers

117°0'0"E



Internal Memorandum

TO: ANDREW DUCKWORTH - SUPERINTENDENT - OPERATIONAL
COMMUNICATIONS
ENDORSED BY: WAYNE GREEN - SUPERINTENDENT – GREAT SOUTHERN
FROM: MURRAY HATTON - DISTRICT OFFICER – ALBANY RURAL
SUBJECT: SHIRE OF KOJONUP – RADIO COMMUNICATIONS
DATE: 20 JANURARY 2020
FILE NUMBER: D09039

RESPONSE REQUIRED ☒ **GENERAL** ☐ **INFORMATION ONLY** ☐

RE: REQUEST FOR WAERN TOWER TO BE RELOCATED TO JINGALUP ROAD IN THE SHIRE OF KOJONUP.

Background:

The Shire of Kojonup have raised concerns over a period of time in relation to the performance of their existing WAERN radio repeater network.

The communications issues experienced during the 2019 Ryan's Brook Fire in the south of the Shire of Kojonup has focused attention on this matter. Locally, it is perceived that there has been a drop-in radio repeater performance since the WAERN transition to the WAPOL Repeater site immediately to the south of Kojonup townsite from the "shire" site closer to Jingalup.

Despite DFES Radio Communications Branch efforts in undertaking a significant maintenance program on repeaters, associated infrastructure and mobile units within the Shire of Kojonup, the shire is still of the view that communication performance is substandard.

Current Situation:

The Shire of Kojonup have some funds that may be available (believed to be in the vicinity of \$100,000) to assit with the mooted move of the WAERN and other community based communications systems to the proposed Jingalup site if required.

There has been considerable correspondence in relation to this matter. This correspondence can be accessed via Content Manager on File: D09039

Initial assessments by DFES Radio Communications have indictaed that it is unlikely to identify an appropriate site that will provide considerable improvement to existing communication performance.

Recommendation:

DFES Radio Communications conduct a thorough assessment of WAERN communications within the Shire of Kojonup. The aim is to identify and provide solutions to reported WAERN communications performance issues across the Shire and provide a detailed report outlining the findings that take into account:

1. Coverage and performance from existing sites – Kojonup and Chowerup
2. Coverage and performance from mooted sites – Jingalup and Chowerup, and
3. Landscape scan for potential alternative site.

For your consideration and action as required.

Murray Hatton
DO Rural Albany

Wayne Green SUPERINTENDENT GREAT SOUTHERN	Endorsed Date: 18/02/2020
Andrew Duckworth SUPERINTENDENT OPERATIONAL COMMUNICATIONS	Approved / Not Approved Date:



Kojonup WAERN Coverage Review

May 2020

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Document Purpose

The purpose of this document is to examine the ongoing WAERN coverage issues reported by the Shire of Kojonup. It will detail the steps taken by DFES Operational Communications and the Radio Communications Section to assess and address the reported issues to date.

It also considers current communications methodology and alternate options in the shire to meet DFES current concept of operations. It will offer solutions to support the suite of repeaters available for use when responding within the Shire of Kojonup and consider the Shire's proposal to construct a new tower.

This document builds on the original review 'Kojonup WAERN Coverage Review' dated 24/09/2011 (Annex A).

Overview

A WAERN repeater was sited within the Shire of Kojonup as part of the WAERN project. After assessing the existing tower within the Shire of Kojonup, the decision was made to enter an MOU with the West Australian Police Force (WAPol) to utilise the new tower being constructed on the property owned by Kevin Broom. This decision was based on concerns with the structural integrity and condition of the existing tower.

Kojonup has raised concerns regarding WAERN coverage since 2010. There has been a raft of assessments and upgrades undertaken to address any likely technical issues that could have contributed, and they are detailed below. In addition, the Shire has established an Incident Control Centre at their offices and want to be able to monitor incidents within the area.

Remedial Work Conducted

In the last twelve months, Radio Communications Section have actively investigated and addressed multiple issues as below:

- DFES Radio comms contractor (PK Technologies) worked with the Local Auto Electrician and Denise Berryman to complete a full check of all Base and Mobile radios. All reports have been reviewed and no major issues were found with this equipment
- On the 15th of April 2019 Radio Comms attend WAERN Repeater 234 to rectify and replace the incorrectly installed antennas that were reported by WA Police, a full site equipment check was conducted and tested and found to be all within specification.
- On the 24th and 25th of October 2019 DFES Radio Comms investigated the site further due to further reports of poor coverage. A full test was completed as well as field tests to the South of the Shire and it was identified that there was noise generated by the tower infrastructure. Closer inspection identified redundant rigging chains and mounting brackets that had been left on the tower from the initial build. These chains were identified as creating interference during periods of high winds by creating tower noise.
- The Chowerup Repeater Channel 229 was identified as having an antenna issue during this visit.
- On the 5th of November 2019 the 234 site was attended by DFES Radio comms and Contractors to change over the existing High Band antennas to stainless steel and remove the seven rigging

chains and two redundant mounting brackets that were identified as inducing noise to the site. Tower noise testing and field coverage testing was conducted on 234 which removed all signs of tower noise and improved coverage on 234 to the South and West of the of the Shire. Chowerup tower issue was rectified.

- On the 5th of December 2020, after further reports of communications issues on 234, a completely new repeater hardware configuration and software configuration change was built to replace all the site equipment at 234. This configuration change ensured the 234 channels was not talked over by the Mid-Band 41 (something that may have caused communications issues).
- On the 11th of December 2020 DFES Radio Comms deployed to site and installed the new hardware and conducted further testing. This confirmed the site as fully operational, however a nuisance double tail was identified in testing due to the configuration change. This did not stop the use of the repeater. The equipment was tested on air whilst the DFES Team worked at the Tambellup repeaters site and coverage was improved in the Southern End of the Shire.
- After further consultation it was decided to change the antenna configuration at the Kojonup site again.
- On the 30th of December 2020 DFES Radio Comms attended site (234) with a contracted rigger to change the antennas and install a complete new coaxial feeder to the new antennas. The antennas were also reorientated to the South West to provide optimal direction for the coverage requirements.
- The Mid Band site 41 was also visited to replace the 43 Mid Band repeater for a newer model to enable adjustment of the repeater tail on 41 to eliminate the double tail issue on 234 from the recent configuration changes. Feedback on the quality of the communications was requested.

Despite these measures there have been continued reports of issues with communications when utilising channel 234 especially at various locations in the south west of the shire.

Further Remedial Options

Communications Planning and Training

In addition to channel 234, there are a further eight repeaters that have coverage in various locations throughout the shire (Annex B). Based upon the shadow mapping, the repeater at Chowerup (229) shows good coverage over the main areas where concerns have been raised. This repeater, along with the shire mid band channel 41, is linked to 234. Radios operating on 229 within the coverage area of the Chowerup tower should be able to communicate back to Kojonup.

However, this will increase congestion issues if every radio in the shire is on either 234 (mid band 41) or 229. **Therefore, it is imperative that the pre-formed communications plans for Kojonup are utilised at all incidents (Annex C).**

It is incumbent upon DFES Regional staff, Local Government Emergency Services officers, and members of the leadership teams within the local BFB and VFRS to ensure that all responders are trained and competent in using these plans. Local IMT members should also be conversant with the relevant plans for the other repeaters surrounding the shire and instigate the most effective plan based upon the location of the incident.

It is also proposed that potential retransmission sites be identified throughout the shire. These could be documented as locations that a vehicle could be parked that will allow for the management of an incident utilising the Comms Plans

Use of CB Repeater Ch3

An option exists for the shire to repair and utilise the CB repeater at their existing site at Samson Road. While this could assist communications into the areas of concern, the main issue is the very poor condition of the existing mast and guy points.

New Tower at Jingalup Road

A proposal has been submitted for a new tower to be erected at Jingalup Road (Appendix D).

- Shadow mapping of the proposed site has indicated good coverage but less than the area comparison of the linked 229 and 234. These sites should remain linked in the event of the new tower being constructed.
- The shire proposal lists the intention that the new tower would host;
 - a. The Shire's Mid-Band bushfire radio network,
 - b. WAERN repeater 234,
 - c. The Shire's Works and Services Dept radio network,
 - d. CB radio repeater
 - e. Community FM Radio, and
 - f. Internet

The Shire has indicated that they have approximately \$100,000 in reserve to contribute to this project with the balance sought through LGGS or the council borrowing the appropriate funds. While we believe that the administrative options should be initiated before any capital expenditure, DFES would commit to meeting the cost of transferring the repeater for channel 234 to the new site.

Conclusion

It is the position of DFES Operational Communications that:

- Local communications plans are reviewed by the LG with assistance from the Regional Office for suitability,
- An immediate training needs analysis should be undertaken at a Regional level to ensure that local volunteers understand the value of, and can effectively employ the communications plans,
- Based upon the training needs analysis, a development program be initiated by the Region to support local volunteers communications training,
- DFES Operational Communications work with the region and local representation to map suitable re-trans sites to assist the ICC to monitor incidents from the field,
- DFES Operational Communications and Radio Communications Section offer technical advice in support of the construction of the proposed new tower,

- The Shire accepts that any improved coverage from the proposed tower site, indicated by shadow mapping developed by DFES Radio Communications Section, is not guaranteed. The Shire should consider getting an independent analysis prior to committing to this expenditure.
- DFES Operational Communications will agree to the cost of relocating the hardware for the WAERN repeater 234 to the new site upon the construction of the new tower.



Appendix A – Kojonup WAERN Coverage Review 24 September 2011

Kojonup WAERN Coverage Review

Version: 1.0

Author: Kurt von Knoll

FESA WAERN Project Manager

Version	Date	Status
1.0	24/09/2011	Initial issue.

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Document Purpose

The purpose of this document is to detail the WAERN coverage issues reported by the Shire of Kojonup and the steps taken by FESA to assess the reported issues and to address the issues to date. Additionally, the technical options to provide improved coverage in the Shire of Kojonup will be listed.

Reported WAERN Coverage Issues

In November 2010 Kojonup verbally reported issues with some of the WAERN Base Stations in the Shire. The following remedial steps were taken by the WAERN Project:

1. The mast at the DCBFCO's home was replaced with a longer (9 meter) pole, allowing the antenna to be mounted significantly higher than previously and to therefore provide better transmission and reception from the WAERN repeater in Kojonup.
2. The mast at the Muradup Fire Shed was replaced with a longer (6 meter) pole allowing the antenna to be mounted significantly higher than previously and to therefore provide better transmission and reception from the WAERN repeater in Kojonup.
3. The CBFCO's Base Station microphone was replaced due to an intermittent fault.

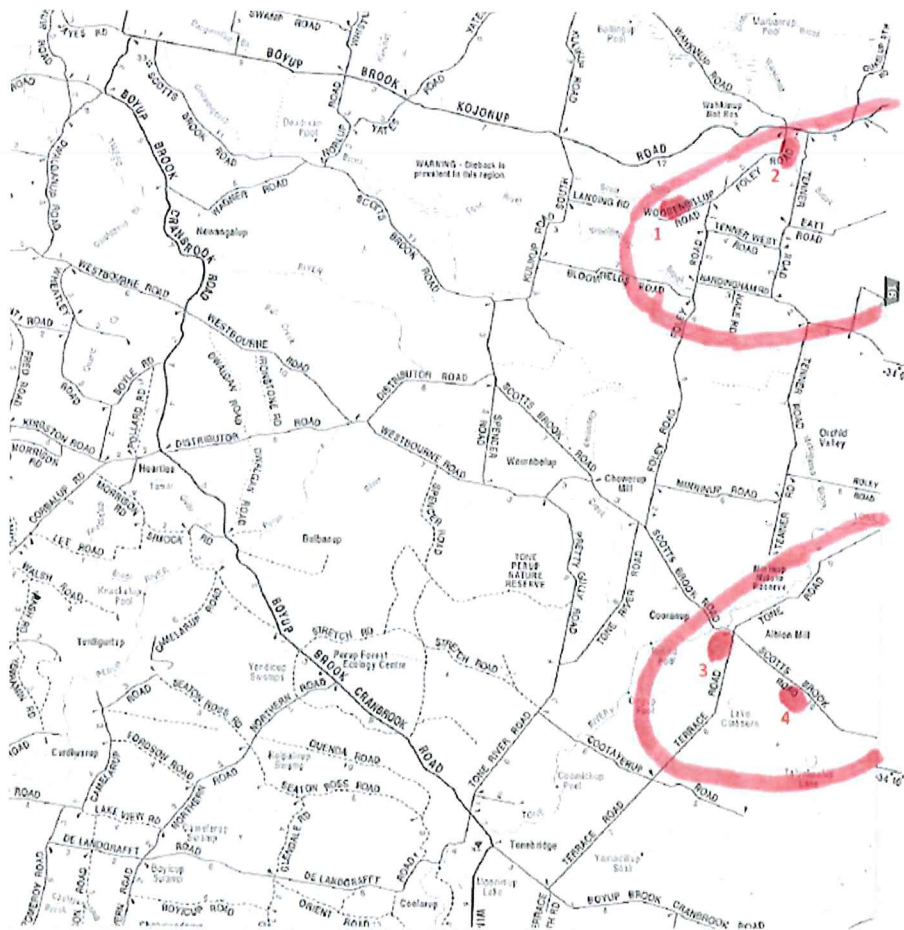
In early January 2011 the Shire of Kojonup reported poor coverage on the WAERN to the west of the Shire following a fire in the area. The issue was reported to the FESA Great Southern Regional Office who forwarded the report verbally to the WAERN Project. Based on the area of concern and further discussion with the FESA Operations in the Great Southern the WAERN Project recommended that the repeater in Boyup Brook be used to provide coverage in the western side of the Shire of Kojonup. This recommendation is in line with the original principle of the WAERN Project in that all WAERN repeaters are an available communications asset that can be used to provide radio coverage at an incident regardless of what Shire they are located in.

On the 9th of March 2011, the Deputy Chief Bush Fire Control Officer in the Shire of Kojonup reported problems with his WAERN Base Station Radio. The report also stated that the problem was a general network issue, not an individual Base Radio issue. The problem was investigated by a WAERN Project Officer and the following remedial steps were taken:

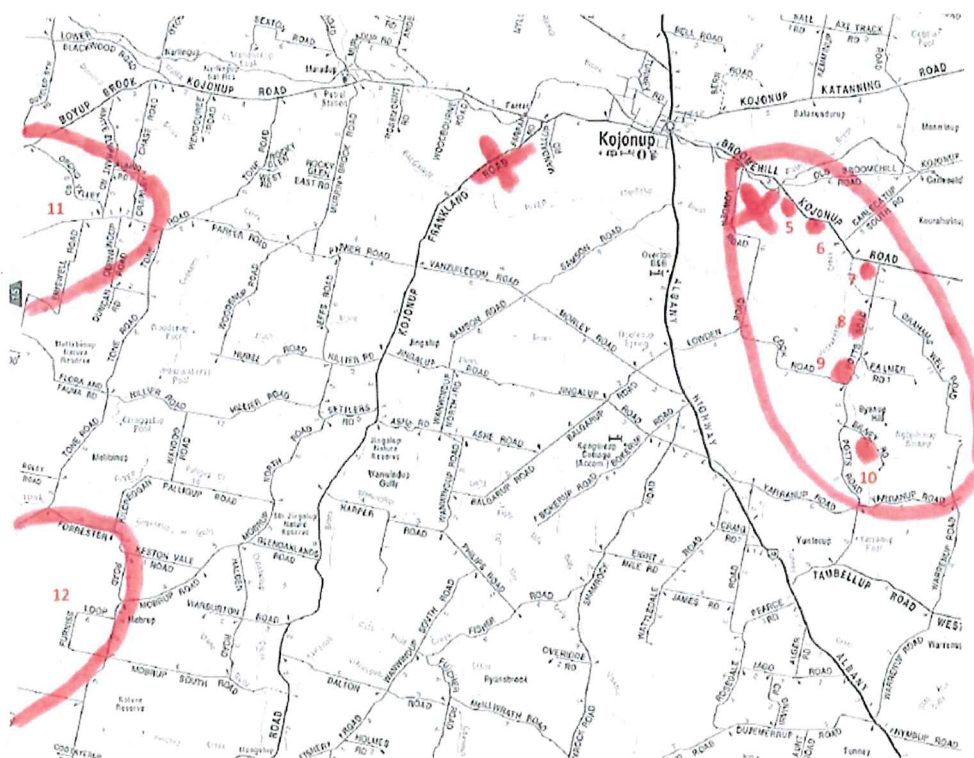
1. A problem was found with the existing notch filter at the WAERN repeater site. This was replaced with a new band pass filter. Air testing was then carried out in conjunction with a Kojonup FCO at various locations on the return to Perth with the last transmission being 20km south of Williams.

In late August 2011, the Shire of Kojonup reported continuing concern with the coverage provided by the WAERN, particularly when compared to the BFB Mid

Band VHF network. The Shire highlighted locations of perceived poor coverage that occurred during the 2010/11 bush fire season. The Shire sent through a map with the areas of perceived poor coverage marked, with areas circled indicating perceived overall poor coverage, and dots indicating specific locations where personnel were unable to communicate on the WAERN. The maps provided by the Shire of Kojonup are shown below.



Map 1: showing areas of perceived poor coverage.



Map 2: showing areas of perceived poor coverage.

The points marked on the map where coverage provided by the WAERN was poor have been numbered in red in this document for ease of reference.

Analysis of WAERN Coverage in Kojonup

Following the report from the Shire of Kojonup in late August 2011, the WAERN Project mobilized two WAERN Project Officers on the 22nd and 23rd of September to undertake detailed analysis of the WAERN coverage in the Shire. Over a period of two days, the Project Officers conducted the following analysis and testing:

1. Inspection and testing of the WAERN repeater in Kojonup.
2. Inspection and testing of the BFB Mid Band VHF repeater in Kojonup.
3. Simultaneous Radio Frequency (RF) mapping of the High Band VHF coverage provided by the WAERN repeater, Mid Band VHF coverage from the BFB repeater and High Band VHF coverage from the Shire repeater site (from a test High Band repeater). This mapping measured the radio signal strength (in dBm) at various locations throughout the Shire, including the locations marked on Maps 1 and 2.
4. Inspection and testing of the WAERN mobile radios installed in the Shire fire appliances.

The RF mapping at each location was completed on the BFB Mid Band network, the WAERN High Band network and a test High Band repeater at the Shire repeater site so that the signal strength from both repeater sites and both frequency bands could be compared. In addition, the RF mapping was

conducted firstly in a WAERN Project vehicle and then in a Shire fire appliance (Kojonup 2.4R) to ensure there was no discrepancy.

The inspection and testing of the WAERN repeater in Kojonup confirmed that the repeater was fully operational and met specification.

The inspection and testing of the BFB Mid Band repeater in Kojonup revealed that the repeater was not operational. The repeater was brought back online by the WAERN Project Officers.

Inspection and testing of the WAERN mobile radios installed in the Shire fire appliances confirmed that they were fully operational and met specification.

Table 1 below illustrates the results of the RF mapping. The location numbers refer to the numbers marked in red on Maps 1 and 2.

#	Location	High Band Signal Strength (dBm)	Mid Band Signal Strength (dBm)
1	Woodenbillup Road	-100.5	-86.5
2	Foley Road	-99.8	-90.0
3	Intersection of Scotts Brook Road and Terrace Road	-105.5	-96.6
4	Scotts Brook Road east of Terrace Road	-116.1	-105.4
5	Broomehill Kojonup Road near intersection with Old Broomehill Kojonup Road	-81.9	-97.2
6	Broomehill Kojonup Road near Mandalup Brook	-80.3	-94.0
7	Corner of Broomehill Kojonup Road and Potts Road	-77.0	-85.5
8	Potts Road between Grahams Well Road and Palmer Road	-78.0	-90.0
9	Corner of Potts Road and Cook Road	-90.0	-104.0
10	Bilney Road	-78.0	-88.0
11	General area around Parker Road intersecting with Orchid Valley Road, Eriswell Road, White Elephant Road, Quinwindup Road	-101.3	-96.6
12	General area around Furniss Loop and Forrester Road	-105.0	-96.0

Table 1: Mid Band and High Band VHF signal strengths at locations marked on Map 1 and Map 2.

The results of the RF mapping show that the WAERN High Band repeater coverage provides comparable coverage to the BFB Mid Band repeater at most of the locations tested. The WAERN repeater located in Kojonup is located

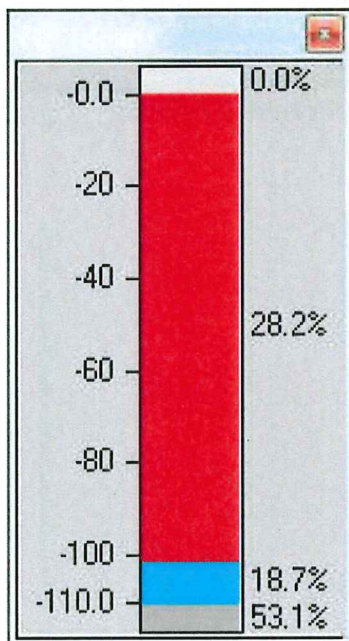
further east than the BFB Mid Band repeater. As such the BFB Mid Band repeater will likely provide better coverage in the west of the Shire. Conversely, the WAERN repeater will likely provide better coverage in the east of the Shire. This is supported by the results of the RF mapping that clearly shows that there are locations where the signal strength from the WAERN repeater is stronger than the BFB Mid Band repeater and conversely, locations where the signal strength from BFB Mid Band repeater is stronger than the WAERN repeater.

For analogue radio networks, signal strengths of -110 dBm or better provides acceptable radio coverage. Differences of a few dBm while still within this range will result in negligible difference in coverage. Signal strengths lower than -115 dBm may not provide acceptable coverage.

It should also be noted that the aerial at the WAERN repeater site is orientated to the west and mounted at a height of 47 meters on the tower.

Radio Coverage Maps

FESA commissioned RFI (www.rfi.com.au) to produce radio coverage maps for the current WAERN repeater in Kojonup, the WAERN repeater in Boyup Brook and the potential new site at Chowurup. Radio coverage maps are used widely in the radio communications industry to provide an accurate model of radio coverage based on the characteristics of radio propagation, the topography and the surrounding “clutter” (vegetation, buildings, etc.).



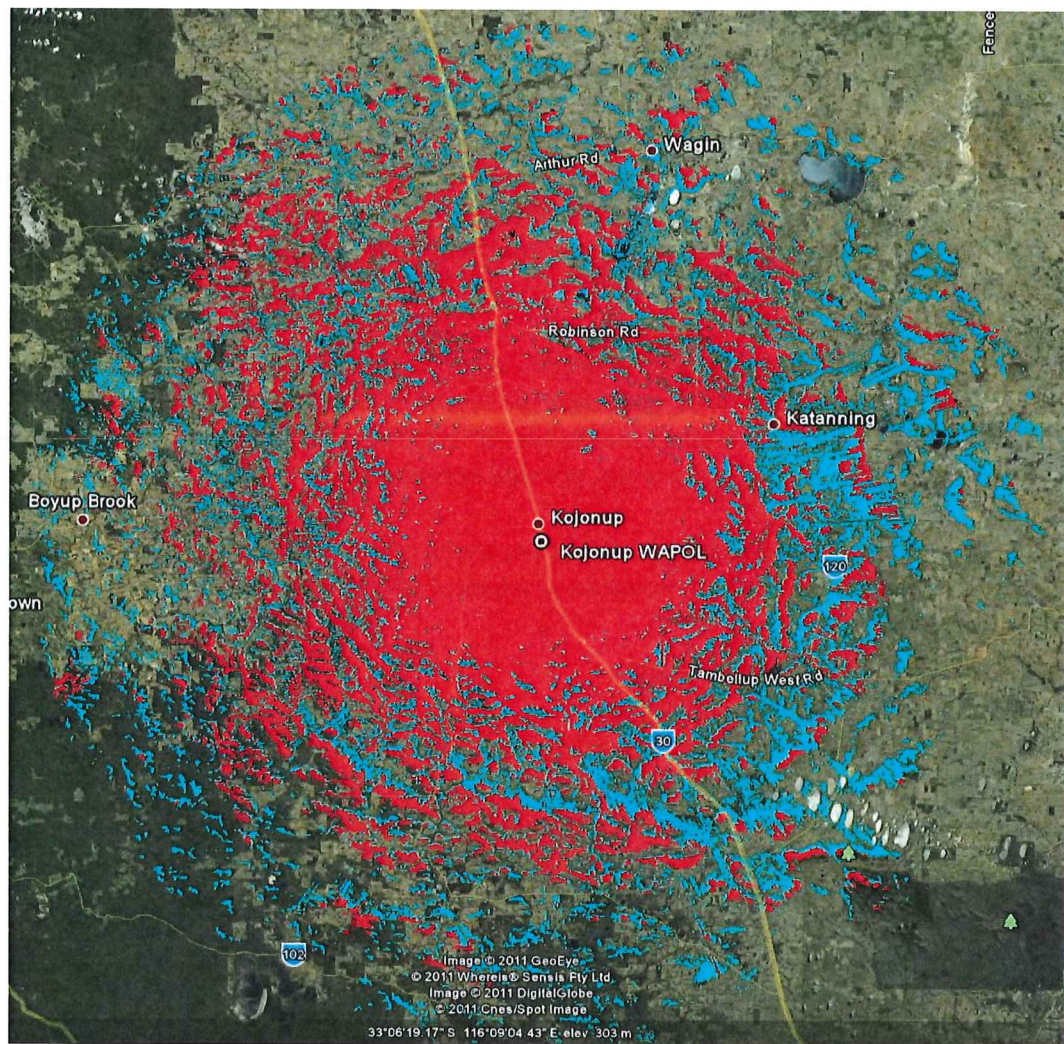


Figure 1: Radio coverage map of WAERN repeater located in Kojonup.

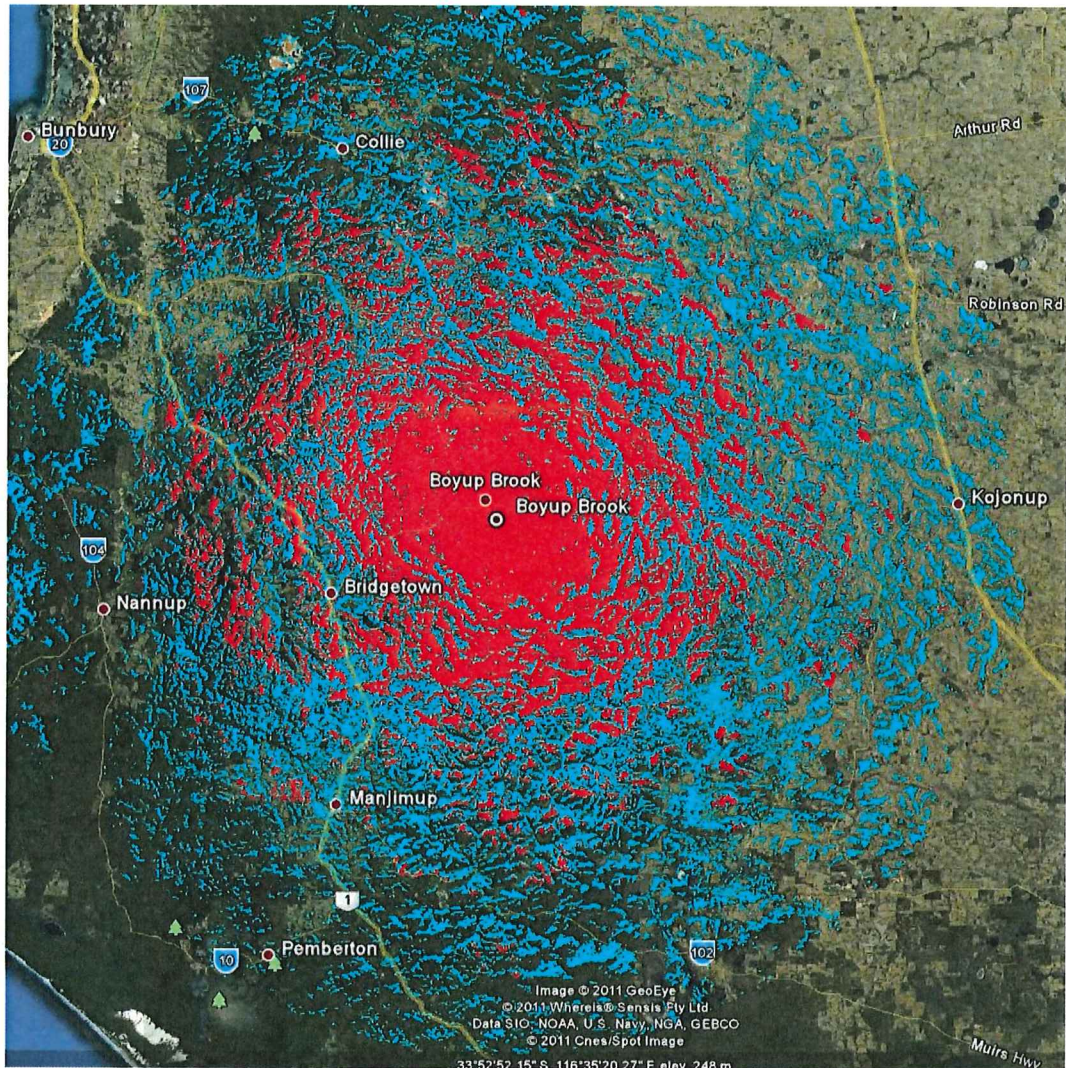


Figure 2: Radio coverage map of WAERN repeater located in Boyup Brook.

Comparison of the coverage maps for Boyup Brook and Kojonup show that there may be areas of marginal coverage (from either repeater) in the area mid way between the two repeater sites.

A possible new site between Kojonup and Boyup Brook has been identified:

Site name: Chowerup
 ACMA ID: 602350
 Easting: 476739
 Northing: 6232891
 Elevation: 313m

The radio coverage map below illustrates the indicative coverage that would be provided from a High Band WAERN repeater located at Chowerup.

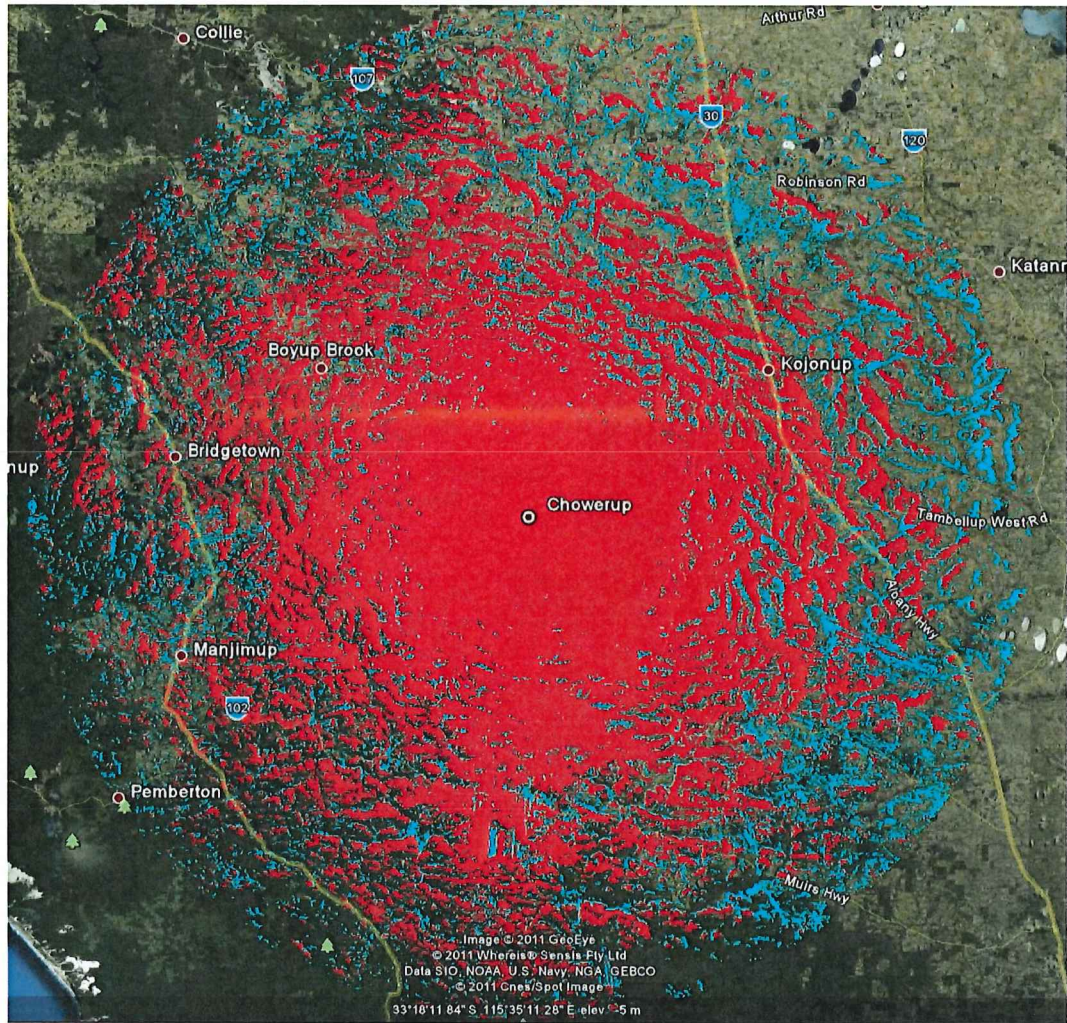


Figure 3: Radio coverage map of potential WAERN repeater located at Chowerup.

The radio coverage map shown above for the Chowerup site illustrates that a WAERN High Band repeater at this site could provide coverage where the coverage provided by the Boyup Brook and Kojonup WAERN repeaters may be marginal.

Options to Improve Radio Coverage in Kojonup

The options to address the perceived lack of WAERN coverage in Kojonup are presented below. In order to implement the best technical solution, the WAERN Project will require confirmation of the business requirements of the Shire and FESA Regional Operations in terms of how they operate using radio communications (communications plans).

Establish a new WAERN Repeater at Chowerup

Inspection of the Chowerup site has revealed that there are a number of issues that would need to be resolved to establish a repeater:

1. The tower has not been maintained and therefore would need remedial work to meet the minimum engineering standards.
2. There is no existing power to the site. The site has previously had mains power, but this has been disconnected for some time. Re-establishing mains power is possible but the time frames will be dependent on Western Power process and availability of electrical contractors for subsequent work.
3. There is no adequate site enclosure or hut. A new hut would need to be established.
4. There is no site security. Minimum site security such as fencing would need to be established.

Based on the radio coverage maps presented on the previous pages, establishing a new WAERN repeater at Chowerup could provide coverage where the coverage provided by the Boyup Brook and Kojonup WAERN repeaters may be marginal. Establishing this new repeater could provide better coverage for the Shire of Kojonup in the west of their Shire. It could also provide better coverage for adjacent Shires such as the east of the Boyup Brook Shire. There are two options for establishing a new repeater at Chowerup:

1. The Chowerup repeater could be established as a standalone repeater. This would provide additional repeater coverage in the western area of Kojonup Shire and the eastern area of the Boyup Brook Shire.
2. The installation of a Smart Bridge at the Chowerup repeater site would allow dynamic (via Selcall) linking of the Chowerup repeater to adjacent WAERN repeaters so that a linked communications network could be used for incidents. Dynamic linking of the Chowerup repeater would maximise the utility of the new repeater for all adjacent Shires. Supporting policies and procedures would need to be put in place such that each Shire was aware of the link status.

Utilise the Dual Band Capability of the WAERN Mobile Radios

The dual band capability of the WAERN mobile radios can be used to effectively alleviate coverage issues. Specifically, if an incident occurs in an area where there is poor High Band repeater coverage then:

- If the local incident communications operates on a UHF simplex channel and a strategically placed yellow WAERN radio (within the coverage area of the repeater) cross bands the UHF channel onto the High Band repeater channel then all communications on the UHF channel is automatically retransmitted on the High Band channel and vice versa.
- If the local incident communications operates on a UHF simplex channel and a strategically placed yellow WAERN radio (within the coverage area of the repeater) is configured for dual receive/dual transmit then the operator could relay information onto both channels.

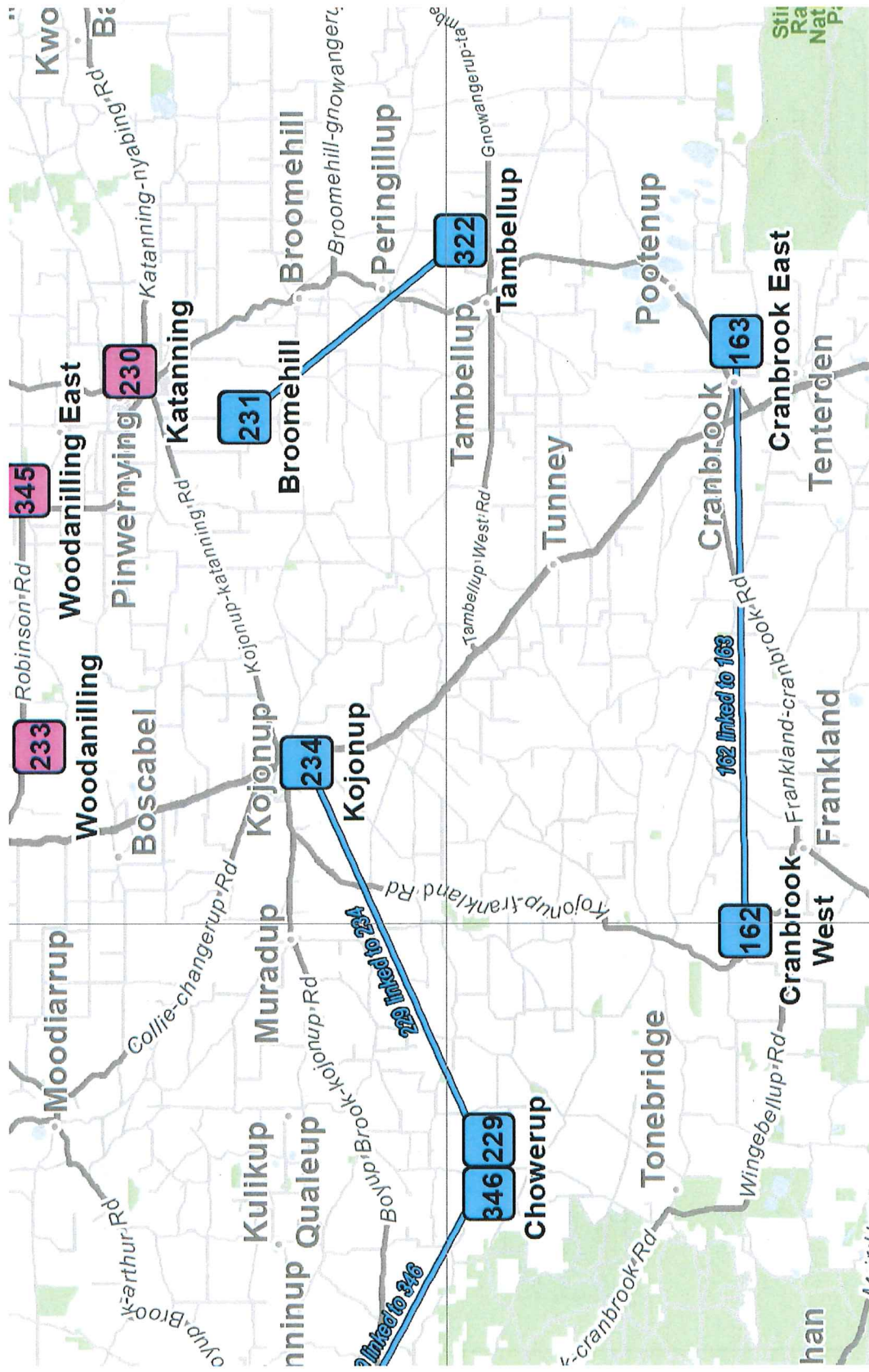
Supporting communications plans would ensure these options are utilised at an incident appropriately and training in the use of these functions would be required.

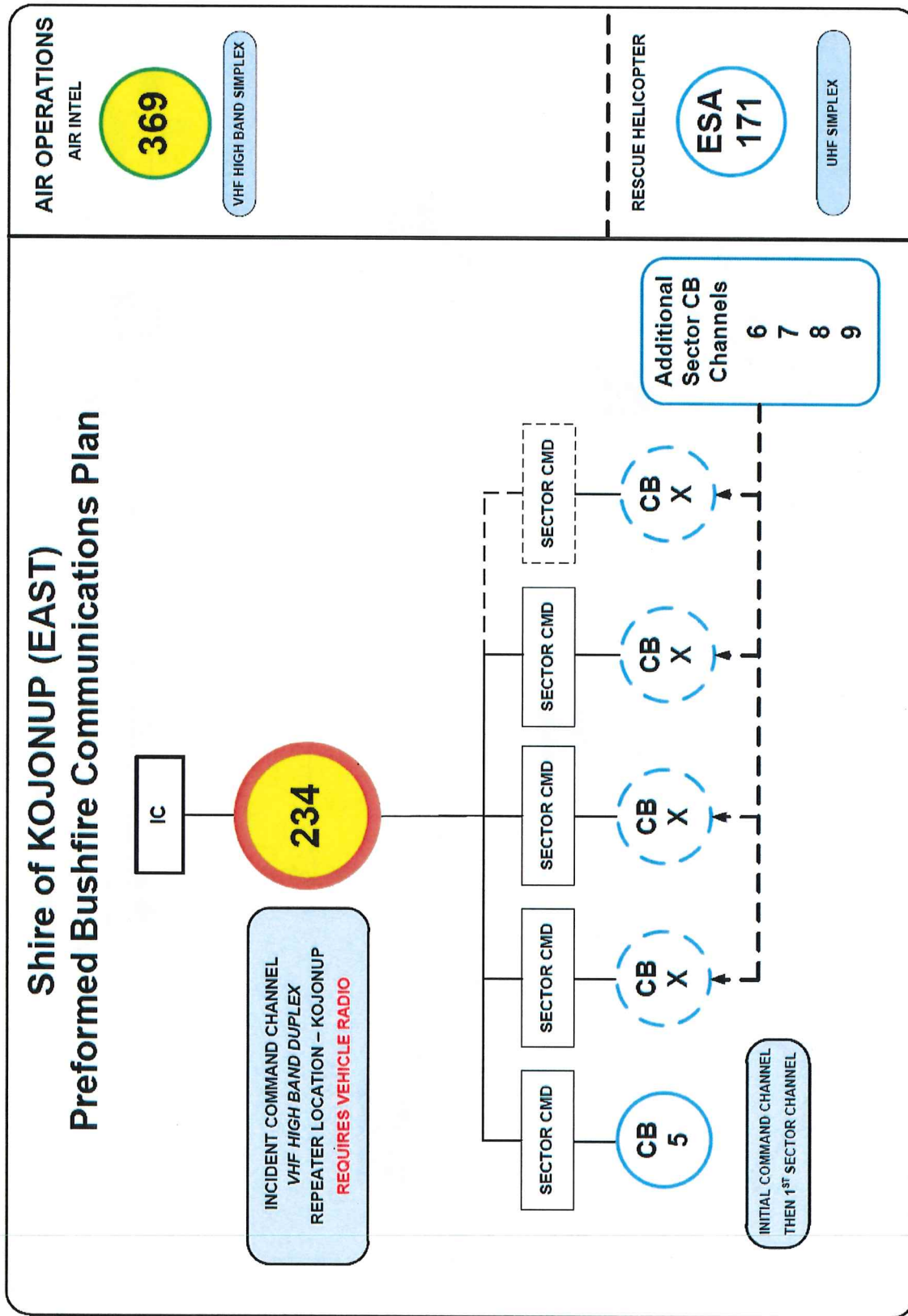
Next Steps

If the Shire of Kojonup wishes to progress any of the options detailed in this document then the first step would be to review the preferred option(s) with FESA Regional Operations in the Great Southern. This will ensure that FESA Regional Operations is aware of the preferred option(s) and that the wider operational implications and opportunities associated with the option(s) are considered.

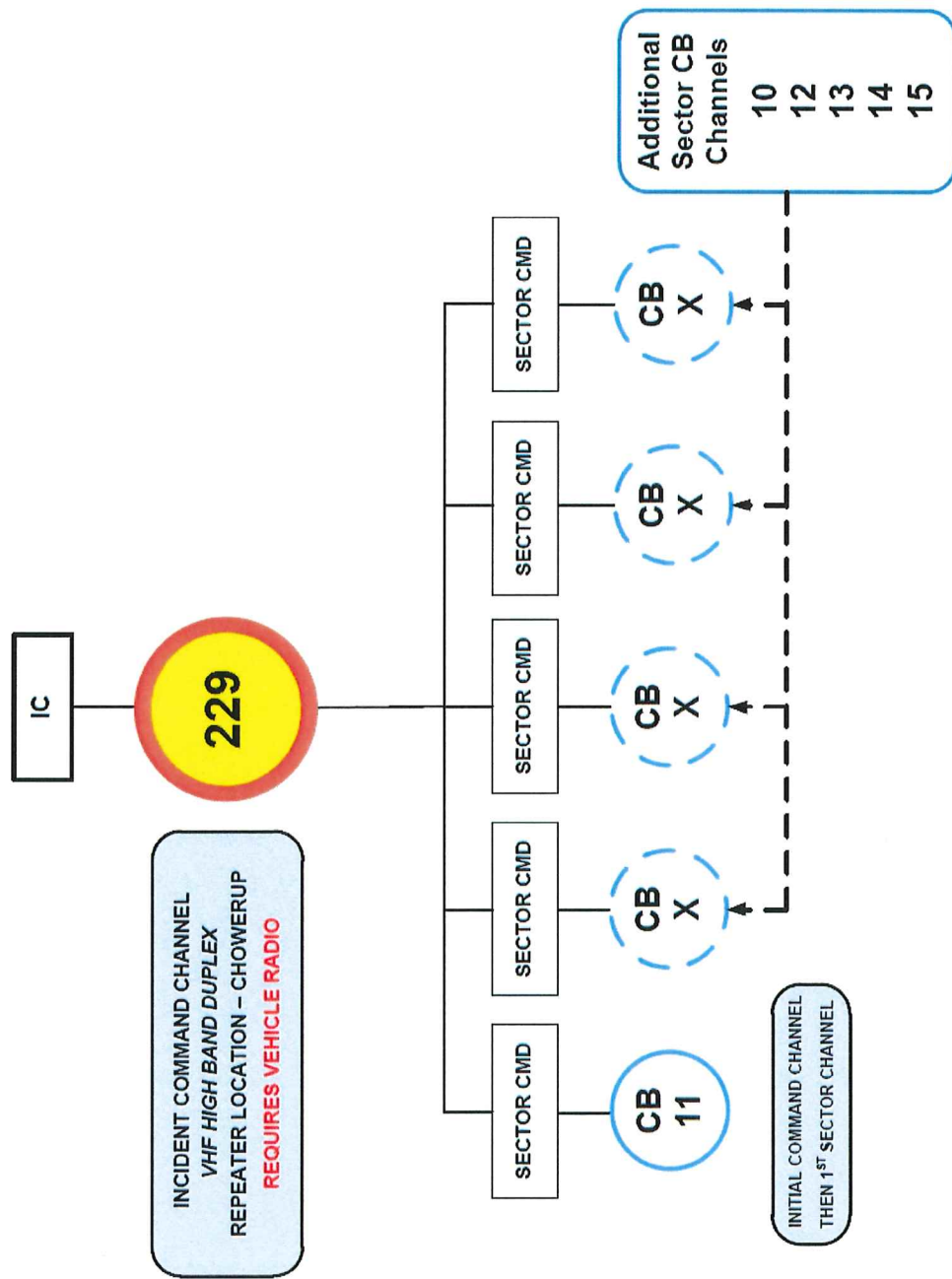
Under the governance structure of the WAERN Project there is a defined process for changes. This ensures that due consideration is given to the implications of the change prior to the change taking place (for example the impact on the project schedule and budget, the impact on other stakeholders, the priority of the change compared to other requests). Therefore the second step to progress the preferred option(s) would be to present a Change Request to the WAERN Project Committee for review. If the Change Request is approved by the Committee then the change would be implemented.

Appendix B – Kojonup Map





Shire of KOJONUP (WEST) Preformed Bushfire Communications Plan



AIR OPERATIONS
AERIAL SUPPRESSION

169

VHF HIGH BAND DUPLEX
REQUIRES VEHICLE RADIO

AIR INTEL

369

VHF HIGH BAND SIMPLEX

RESCUE HELICOPTER

ESA
171

UHF SIMPLEX

To: All Local Governments **From:** Susie Moir, Resilient Communities Policy Manager

Date: 20 May 2022

Reference: 05-024-02-0059SM **Priority:** High

Subject: Proposed Advocacy Position on Arrangements for Management of Volunteer Bushfire Brigades

Operational Area:	CEO, Emergency Management
Key Issues:	<ul style="list-style-type: none">The Association is consulting the Local Government sector on a proposed Advocacy Position on the arrangements for management of volunteer Bush Fire Brigades.Responses to the proposed Advocacy Position Paper are requested by 8 July 2022.Sector feedback will inform a final position to be considered by WALGA State Council in September 2022.
Action Required:	<ul style="list-style-type: none">Local Governments are encouraged to provide a written response or submit a response through the survey.A formal Council resolution will assist the Association understand the sentiment of the sector.

Background

Western Australian Local Governments have extensive roles and responsibilities embedded in the State Emergency Management Framework across the emergency management spectrum of prevention, preparedness, response, and recovery. Under the *Bush Fires Act 1954*, Local Governments have responsibility for bushfire and the management of volunteer Bush Fire Brigades (BFBs). 111 Local Governments manage 563 BFBs involving approximately 20,000 volunteers.

As part of WALGA's 2021 Emergency Management Survey, Local Governments were asked about their level of satisfaction with current arrangements for managing BFBs. 92 Local Governments (69 of which manage BFBs) provided the following feedback:

- 93% were not wholly satisfied with the current arrangements for the management of BFBs; and
- 51% expressed that their Local Government does not support the requirements for Local Governments to manage BFBs.

The State Government is currently drafting the *Consolidated Emergency Services Act* (CES Act), which consolidates the *Fire Brigades Act 1942*, *Bush Fires Act 1954* and *Fire and Emergency Services Act 1998* into a single piece of legislation, anticipated to be released as a Green Bill for consultation in early 2023.

The introduction of the *Work Health and Safety Act 2020* has also shone a spotlight on Local Government responsibilities for managing volunteer BFBs.

Comment

The development of the CES Act represents a important and timely opportunity for the sector to determine its position on the management of volunteer BFBs. An endorsed advocacy position will guide the Association in its engagement with the State Government on this issue.

WALGA has prepared the attached proposed Advocacy Position for the sector's consideration.

An six week period for sector consultation is designed to enable Local Governments to engage with relevant stakeholders, including volunteers, and for Councils to consider their position. Feedback on the proposed position will be reviewed and inform a final position to be considered by WALGA State Council in September 2022.

Further information

Please contact WALGA's Resilient Communities Policy Manager, Susie Moir smoir@walga.asn.au or 9213 2058.

Arrangements for Management of Volunteer Bush Fire Brigades: Proposed Advocacy Position

May 2022




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Acknowledgement

The WA Local Government Association (WALGA) acknowledges the Traditional Owners of the land and pays respects to Elder's past, and present. WALGA acknowledges the continuing knowledge and cultural practices that they bring to the Local Government and Emergency Management sectors to support resilient and sustainable land management on WA landscapes.



Executive Summary

Western Australian Local Governments have extensive roles and responsibilities prescribed in the State Emergency Management Framework (State Framework) across the emergency management activities of prevention, preparedness, response, and recovery. Relevantly, pursuant to the *Bush Fires Act 1954*, Local Governments have responsibility for bushfire and the management of volunteer Bush Fire Brigades (BFBs).

This Paper proposes a new Advocacy Position on the management of BFBs to guide the Association's emergency management advocacy on behalf of Local Government, and in particular its engagement with the State Government on the development of the *Consolidated Emergency Services Act* which is expected to be released for stakeholder consultation in early 2023.

How to Comment on This Paper

Local Governments are encouraged to provide a written response to this Paper or to complete the [survey](#). Formal Council resolutions will assist the Association understand the sentiment of the sector on this important issue.

The Paper outlines the proposed Advocacy Position, followed by the background and rationale for the new position.

Questions are provided at the end of the Paper to guide feedback.

For further information please contact WALGA's Resilient Communities Policy Manager, Susie Moir via 9213 2058 or smoir@walga.asn.au

Feedback should be provided in response to the questions via email to em@walga.asn.au by **5pm Friday 8 July 2022**.

Introduction

This Paper seeks Local Government's views on a new WALGA Advocacy Position on the management of volunteer bush fire brigades (BFBs).

WALGA Advocacy Positions guide WALGA's policy, advocacy and capacity building activities and support a consistent and whole-of-sector approach.

The introduction of the *Work Health and Safety Act 2020* has shone a spotlight on Local Government responsibilities for managing BFBs. In addition, the State Government is currently drafting the *Consolidated Emergency Services Act*, which consolidates the *Fire Brigades Act 1942*, *Bush Fires Act 1954* and *Fire and Emergency Services Act 1998* into a single piece of legislation, anticipated to be released as a Green Bill in early 2023. Therefore consultation on a new Advocacy Position with respect to management of BFBs is timely.

In 2012, 2019 and 2021, WALGA undertook comprehensive consultation with Local Government in relation to emergency management matters.

In 2021 WALGA undertook a comprehensive [Local Government Emergency Management Survey](#) to ascertain the sector's sentiment with respect to their emergency management responsibilities. 104 Local Governments responded to the Survey. Responses were provided by:

- 36 Chief Executive Officers
- 18 Community Emergency Services Managers
- 50 Local Government officers

As part of the survey Local Governments were asked about their level of satisfaction with current arrangements for managing BFBs. 92 Local Governments (69 of which manage BFBs) provided the following feedback:

- 93% were not wholly satisfied with the current arrangements for the management of BFBs; and
- 51% expressed that their Local Government does not support the requirements for Local Governments to manage BFBs.

These Survey responses reinforce that it is timely to engage with the sector on this issue.

WALGA has been undertaking a process to update our Advocacy Positions, and as a result has prepared eight new Advocacy Position Statements relating to Emergency Management, which will be considered at the July 2022 State Council meeting, as listed in Appendix 1. These new Advocacy Positions are based on previous State Council endorsed submissions, recommendations from significant reviews and inquiries, and information and priorities captured in sector-wide consultations.

A comprehensive Advocacy Position regarding the *Consolidated Emergency Services Act*, is outlined in Appendix 1, Advocacy Position 8.4.

Background

FESA (now the Department of Fire and Emergency Services (DFES)) was established in 1999 for the purpose of improving coordination of the State's emergency services, replacing the Fire Brigades and Bush Fires Boards¹. DFES provides strategic leadership for emergency services across WA. DFES manages the career fire and rescue service, as well as a number of volunteer emergency services: Volunteer Fire and Emergency Services (VFES); Volunteer Fire and Rescue Service (VFRS); State Emergency Services (SES); and Marine Rescue Western Australia.

Around Australia:

- WA is the only State in Australia in which Local Governments manage bushfire volunteers (pursuant to the *Bush Fire Act 1954*).
- In New South Wales, the NSW Rural Fire Service, which makes up the world's largest firefighting volunteer services, is managed by the NSW Government².
- Similarly, the Victorian Government manages the Country Fire Authority which manages regional fire services in Victoria³.
- In South Australia, the *Fire and Emergency Services Act 2005* (SA) provides for the South Australian Country Fire Service (SACFS) being established as a body corporate, currently managing 14,000 volunteers. The SACFS is responsible to the Minister for Emergency Services⁴.
- In Queensland, the *Fire and Emergency Services Act 1990* (Qld) provides for the establishment of rural fire brigades, with the Commissioner responsible for the efficiency of rural fire brigades⁵.
- The Tasmanian Fire Service sits under the State Fire Commission, established under the *Fire Service Act 1979*⁶, with more than 200 fire brigades across Tasmania, 350 career firefighters and 5000 volunteers.
- The ACT Rural Fire Service sits under the ACT Emergency Services Agency⁷ and is responsible for all bush and grass fires in rural ACT areas, through 450 volunteers in eight brigades.
- Bushfires NT is a division of the Department of Environment, Parks and Water Security, which is responsible for administration of the *Bushfires Management Act 2016*⁸. The Minister appoints members of the Bushfires Council and regional bushfires committees.

¹ <https://www.dfes.wa.gov.au/site/about-us/corporate-information/corporate-history/corporate-history.html>

² <https://www.rfs.nsw.gov.au/about-us/history>

³ <https://www.cfa.vic.gov.au/about-us/who-we-are>

⁴ [Part B 2015 South Australian Country Fire Service.pdf \(audit.sa.gov.au\)](#)

⁵ [Fire and Emergency Services Act 1990 \(legislation.qld.gov.au\)](#)

⁶ [TFSAnnualReport2021.pdf \(fire.tas.gov.au\)](#)

⁷ [Emergencies Act 2004 | Acts](#)

⁸ [Legislation Database \(nt.gov.au\)](#)

Current Arrangements in WA

In Western Australia 111 Local Governments manage 563 BFBs involving approximately 20,000 volunteers. The Bush Fire Service is the largest volunteer emergency service by a significant margin:

- Bush Fire Service: 19,639 volunteers
- Fire and Rescue Service: 2,486 volunteers
- State Emergency Services: 2001 volunteers
- Volunteer Fire and Emergency Services: 926 volunteers
- Emergency Services Cadet Corps: 2,261 volunteers
- Marine Rescue Service: 1,559 volunteers⁹.

The number of BFBs managed by Local Governments varies from one up to 20. For example, the Shire of Cranbrook, which has a population of 1000 people, annual revenue of \$8 million and 29 employees manages 11 BFBs. The City of Mandurah, population 88,000, annual revenue of \$116 million and 678 employees, manages one BFB.

DFES also manages some BFBs. This includes seven bushfire brigades within the Kimberley and seven bushfire brigades within the Pilbara regions, under Memorandums of Understanding (MOU) with relevant Local Governments which make DFES responsible for the day-to-day management of the BFB and all response activities, excluding in relation to land tenure managed by the Department of Biodiversity, Conservation and Attractions.

Under this arrangement, Local Governments maintain responsibility for administering the *Bushfires Act* and carry out activities such as inspecting fire breaks and issuing burning permits.

The Local Government Grants Scheme (LGGS) Manual ([Appendix 1](#)) outlines five different 'profiles' for Bush Fire Brigades, as follows:

- Farmer Response Rural Brigades
- Pastoral Emergency Management
- Rural Brigades
- Settlement Brigades (Rural/Semi Rural)
- Urban Brigades (Defensive/Structural/Breathing Apparatus).

Considerations for Future Bush Fire Brigade Management Arrangements

Local Government Views

As part of WALGA's 2021 Emergency Management Survey, Local Governments were asked about their level of satisfaction with current arrangements for managing BFBs. 92 Local Governments (69 of which manage BFBs) provided the following feedback:

- 93% were not wholly satisfied with the current arrangements for the management of BFBs; and
- 51% expressed that their Local Government does not support the requirements for Local Governments to manage BFBs.

⁹ DFES Volunteering, April 2022

Detailed comments provided in the WALGA survey indicated a strong preference for the State Government to be responsible for all emergency management matters in Western Australia, including the management of BFBs.

Recommendations of Previous Reviews

Over the years there have been many calls for transformational change to the State Emergency Management Framework, in particular rural fire management.

The [Ferguson Report](#) on the 2016 Waroona Bushfire recommended that the State Government establish a rural fire service to address perceived issues in rural fire management, including insufficient capacity and unsuitable governance to deliver rural fire services. In 2017 the State Government hosted a bushfire mitigation summit at which a number of options were considered by stakeholders: a rural fire service operated within DFES; a rural fire service operated within DFES with autonomy; and a dedicated rural fire service that operated independently. Options to transfer the management of all BFBs under one umbrella – DFES or other – were also explored.

The 2017 [Economic Regulation Authority Review of the Emergency Services Levy \(ESL\)](#) considered the extent to which the ESL should be available to fund the administrative and/ or operational costs of a rural fire service, although it was outside the terms of reference for the ERA to examine the merits of a rural fire service or form a view on the best model of a rural fire service¹⁰. A number of Local Governments provided submissions to the ERA Review that supported the creation of a rural fire service¹¹.

Work Health and Safety Act 2020

The requirements of the *Work Health and Safety Act 2020*, enacted in March 2022, have heightened concerns in the sector regarding risk and liability in the management of BFBs, resourcing requirements and training and competency.

The shared responsibility for the health and safety of BFB volunteers adds further complexity to the management of BFBs and responsibilities. Local Governments, DFES, and in some cases the Department of Biodiversity, Conservation and Attractions (DBCA), have a shared duty of care to BFB volunteers due to Controlling Agency activities at incidents, and funding mechanisms (LGGS) for BFB operations and capital equipment.

DFES has a role as the lead fire and emergency services agency in WA for preparing training resources and standard operating procedures. DFES is currently developing additional resources suited to each of the above BFB 'profiles', specifically the management and training of BFBs. These additional resources will be discussed further with the sector in the coming months.

Whether the management structure for BFBs could be aligned to reflect the current operations of different brigade 'profiles', as provided in the LGGS Manual and outlined on Page 5 of this Paper, would require further discussion between DFES and the Local Government sector. This could allow for scalability of BFBs depending on location, resources and capabilities.

¹⁰ [ERA Review of the ESL, 2017, pg 185](#)

¹¹ [ERA ESL Review – summary of submissions to issues paper and draft report](#)

Volunteer Insurance

Local Governments are responsible for providing compensation for injury caused to present and former BFB volunteers as a result of their duties. The commercial insurance market ceased writing injury insurance for volunteers in 2012, therefore a self-insurance mutual scheme was implemented to ensure that Local Governments continue to meet this obligation.

Since 2012, due to the high cost of claims, the aggregate limit of liability has increased from \$250,000 to \$750,000. In addition, the annual cost of insurance has nearly doubled (92%) from \$47.50 to \$91.20 per volunteer, and it is expected that this trend will continue¹².

Sector Capacity, Capability and Resourcing

Local Governments vary in their capability, capacity, and resources to manage BFBs, as well as their other extensive legislative responsibilities and requirements¹³.

By way of overview, Local Governments in Western Australia:

- vary in size from less than 1.5 to over 370,000 square kilometres;
- have populations of just over 100 to more than 220,000 people;
- employ fewer than 10 to over 1000 staff; and
- have revenue (2019-20) ranging from just over \$2 million to just over \$225 million¹⁴.

Bush Fire Service and Volunteerism

The localised culture and history of BFBs in WA has had a large influence on the way that Local Governments engage with and manage BFBs. Many BFBs operate in an independent and self-sufficient way, which Local Governments encourage and support, as this contributes to expansion of the volunteer network in the local community, while also building community networks and resilience.

Communities, and therefore many Local Governments, have a significant interest in volunteering and BFBs, with some Local Governments very involved in the establishment, management and operation of their local BFBs. Therefore it is essential that any future management arrangements, including the transfer of responsibility for management of BFBs to the State Government, should be a voluntary process available to Local Governments that do not have the capacity, capability or resources to manage BFBs. It is also essential that the integrity of the Bush Fire Service is maintained, whatever the arrangements for the management of BFBs.

¹² Data provided by LGIS, 17 May 2022

¹³ 2021 Local Government Emergency Management Capability report - SEMC

¹⁴ [Department of Local Government, Sport and Cultural Industries](#)

Options for future management of BFBs

Four options are identified for the future management of BFBs:

1. Status quo - continue with the current arrangements for management of BFBs whereby the majority are managed by Local Government and transfer arrangements are negotiated on an ad hoc basis between DFES and Local Governments (or their BFBs).
2. Improvements - continue with the current arrangements for Local Government management of BFBs with additional support provided by the State Government with respect to increased funding and better access to training resources and other support.
3. Hybrid Model - Local Government continues to manage BFBs where they have the capacity, capability and resources to do so; however where they do not have the capacity, capability and resources, responsibility for management of BFBs is transferred to DFES.
4. Transfer - Responsibility for management of all BFBs is transferred to the State Government, consistent with the arrangements in other States and Territories.

Proposed Position

Based on the feedback received from Local Governments in the WALGA Emergency Management Survey and the other considerations outlined above, it is considered appropriate for the Association to **support a hybrid model** for the management of BFBs.

A hybrid model would enable the continued management of BFBs by those Local Governments with capacity, capability and resources to do so, while providing a framework for the transfer of the management of BFBs to the State Government where a Local Government does not.

Whatever the arrangements for future management of BFBs, it is apparent that Local Governments with responsibility for management of BFBs require **additional support and resourcing** which should be provided by the State Government, including:

- development of a suite of guidelines and resources to assist Local Governments in their management of BFBs, particularly with respect to the discharge of obligations under the *Work Health and Safety Act 2021*;
- expansion of the Community Emergency Services Manager Program (CESM) so that every Local Government with responsibility for managing BFBs has access to the Program if they wish to participate;
- universal access to DFES training for BFBs; and
- development of mandatory and minimum training requirements including recognition of competency for volunteers.

Based on the previous commentary, the following Advocacy Position is proposed:

Management of Bush Fire Brigades

- 1. The Association advocates that the State Government must provide for:**
 - a) A clear pathway for Local Governments to transfer responsibility for the management of Bush Fire Brigades to the State Government when ongoing management is beyond the capacity, capability and resources of the Local Government;**
 - b) The co-design of a suite of relevant guidelines and materials to assist those Local Governments that manage Bush Fire Brigades;**
 - c) Mandatory and minimum training requirements for Bush Fire Brigade volunteers supported by a universally accessible training program managed by the Department of Fire and Emergency Services (DFES); and**
 - d) The recognition of prior learning, experience and competency of Bush Fire Brigade volunteers.**
- 2. That a Working Group comprising representatives of WALGA and DFES be established to develop a process and timeline for the transfer of responsibility for Bush Fire Brigades in accordance with 1(a).**
- 3. Where management of Bush Fire Brigades is transferred to DFES in accordance with 1(a), DFES should be resourced to undertake the additional responsibility.**

How to Provide a Response to this Paper and Proposed Position

WALGA strongly encourages all Local Governments, and particularly those with responsibility for managing Bush Fire Brigades to provide a response to this Paper and the proposed Advocacy Position. Council endorsed responses are preferred but not essential.

The following questions are provided for Local Governments to consider:

1. Does your Local Government manage BFBs?
2. Does your Local Government support the proposed Advocacy Position on arrangements for the management of Bush Fire Brigades? Why or why not?
3. Does your Local Government have any further suggestions or changes to the proposed Advocacy Position?
4. For Local Governments that manage BFBs, is your Local Government's preference to continue to manage BFBs or to transfer responsibility to the State Government?
5. Is your response endorsed by Council? If so, please include the Council paper and resolution.
6. Do you have any further comments to make?

Responses can be provided by way of written submission or by completion of the online [survey](#).

Please provide written submissions by **5pm Friday 8 July 2022** to em@walga.asn.au (Subject line: Bush Fire Brigade Advocacy Position).

WALGA will review the feedback received and prepare a report for consideration by WALGA Zones and State Council in September 2022.

APPENDIX ONE - Proposed Emergency Management Advocacy Position Statements

(Positions to be considered at July 2022 State Council Meeting)

8 Emergency Management

Local Governments in Western Australia play a significant role in emergency management. Both Commonwealth and State Government policy identify Local Government as a key player in community disaster resilience, preparedness and response. Local Governments however face a few challenges in addressing their emergency management responsibilities, and these challenges differ greatly across the State.

8.1 Emergency Management Principles

1. The State Government bears fundamental responsibility for emergency management and has the role of providing strategic guidance, support and services for emergency management activities in Western Australia.
2. The State Government should provide financial and resourcing support as necessary to enable Local Governments to adequately deliver their extensive emergency management roles and responsibilities under the State Emergency Management Framework.
3. The Local Government Sector should be engaged as a partner in policy and legislative reviews that impact Local Government emergency management roles and responsibilities.

8.2 State Emergency Management Framework

Local Governments are supported to undertake their emergency management responsibilities by a simple and streamlined State Emergency Management Framework with the primary objectives of:

1. Protecting people, the economy, and the natural environment from disasters;
2. Supporting communities in preventing, preparing for, responding to and recovering from emergencies;
3. Clearly outlining roles, responsibilities and accountabilities for Local Government and other emergency management stakeholders;
4. Scalability and adaptability that supports Local Governments of varied capacity and capability; and
5. Supporting agency interoperability through common systems and approaches to key activities including data management, communications, and hazard management.

8.3 Sustainable Grant Funding Model for Emergency Management

Local Government should be empowered to discharge its emergency management responsibilities through sustainable grant funding models that support a shared responsibility and all hazards approach to prevention, preparedness, response and recovery from natural disasters. A sustainable grant funding model for Local Government emergency management:

1. empowers Local Governments to undertake proactive approaches to preparedness, prevention, response and recovery;

2. supports the resilience of local communities through capacity-building activities and programs;
3. is responsive to the variations in Local Government resourcing and context
4. develops the skills, capacity and capability of the emergency management workforce; and
5. is consistent, flexible, timely, accessible, scalable, strategic and the guidance provided is comprehensive.

8.4 Consolidated Emergency Services Act

1. The Association advocates for the development of a Consolidated Emergency Services Act to provide a comprehensive and contemporary legislative framework to support the effective delivery of emergency services in Western Australia. The Legislation should clearly define the roles and responsibilities of all emergency management stakeholders including Local Government.
2. The Local Government sector seeks ongoing engagement in the scoping and co-design of the Act and associated Regulations and supporting materials such as Guidelines and fact sheets.
3. The Association advocates for DFES to undertake a full costing analysis of the new Act and to provide to Local Government details of the cost implications prior to the release of any Exposure Draft Bill.
4. Any new or increased responsibilities placed on Local Government by the Consolidated Emergency Services Act must be accompanied by funding and resource support to enable Local Governments to adequately discharge those responsibilities.
5. The Association recognises that in addition to the Consolidated Emergency Services Act, the Regulations and other supporting materials that are developed to support it provide a key resource for Local Governments in understanding and discharging their legislative obligations.
6. The Association advocates for the Act to provide clear guidelines for the process for transferring responsibility for bushfire incident response from Local Government to DFES.

8.5 Resource Sharing

Local Governments and the Association support resource sharing across the Local Government Sector for the purpose of emergency management, to support Local Governments to undertake effective and timely response and recovery to emergencies as well as conduct business as usual. The Association will endeavour to facilitate support to the sector in undertaking resource sharing arrangements.

8.6 Lessons Learnt Management

The Association advocates for the implementation of a transparent and contemporary assurance framework for emergency management lessons management overseen by the State Emergency Management Committee. Findings from inquiries and reviews, and progress on implementation of recommendations, should be publicly reported regularly and consistently.

8.7 Emergency Services Levy

Local Government requests the implementation of the recommendations from the 2017 Economic Regulation Authority (ERA) Review of the Emergency Services Levy, which supported increased transparency and accountability in the administration and distribution of the ESL through:

1. Expansion of the ESL to fund Local Government emergency management activities across prevention, preparedness and response.
2. Administration of the ESL by an independent organisation that is funded through consolidated revenue, with regular independent reviews of expenditure and assessment of the effectiveness of ESL funding expenditure to support prevention, preparedness and response activities.
3. The ESL administration fee should recompense Local Governments for the complete cost of administering the ESL.
4. Public disclosure of the allocation and expenditure of the ESL.
5. Public disclosure by the State Government on the progress of implementation of each of the ERA Review recommendations.
6. A review of the role, responsibilities and reporting arrangements of the Community Emergency Services Manager (CESM) Program.

8.8 Local Government Grants Scheme (LGGS)

Local Government supports:

1. A full, independent review of the LGGS to investigate and analyse how ESL funds are allocated to Local Government via the LGGS;
2. A redesign of the LGGS to remove the ineligible and eligible list and create a sustainable, modern, equitable grants program that funds Local Government emergency management activities across prevention, preparedness and response
3. An audit of existing buildings, facilities, appliances, vehicles, and major items of equipment for both Local Government Volunteer Bushfire Brigades (BFB) and State Emergency Services (SES) to inform the preparation of a Comprehensive Asset Management Plan and to guide future funding requests;
4. in the interim, an immediately increase in the quantum of State Government funding to enable the provision of funding of operating and capital grant applications in full, to provide all resources necessary for the safe and efficient operation of Local Government Bushfire Brigades, in accordance with obligations of the Work Health and Safety 2020 legislation.

8.9 Expansion of the Community Emergency Services Manager (CESM) Program

That the Association advocates for an expansion of the Community Emergency Service Manager (CESM) Program, as follows:

1. All Local Governments should have the option of participating in the CESM Program.
2. The full cost of the CESM Program should be funded through the Emergency Services Levy.

8.10 Management of Bush Fire Brigades

To be developed.



MONTHLY FINANCIAL STATEMENTS

For the period ending 31 May 2022

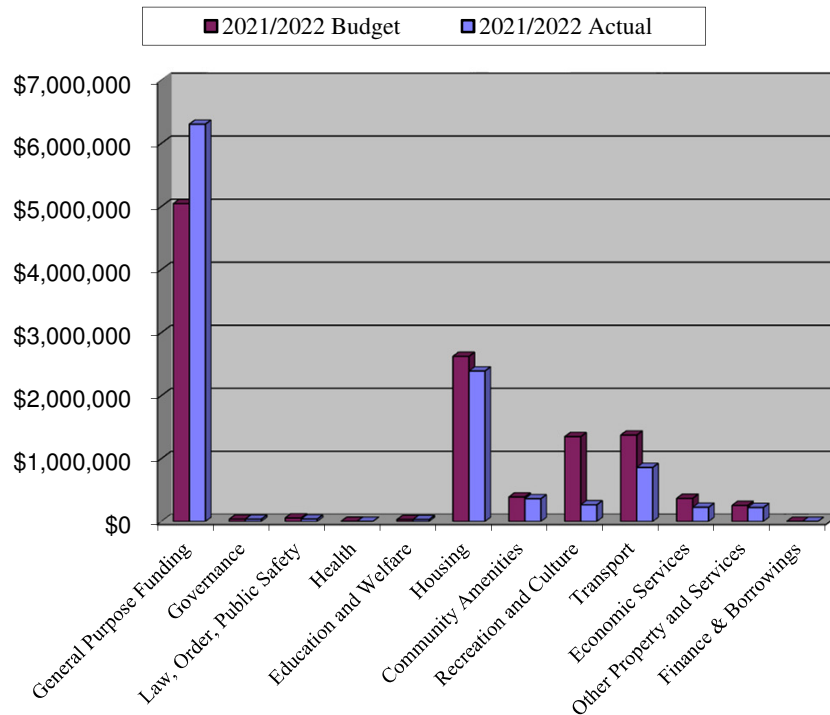
CONTENTS

Statement		Page
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1(b)	Statement of Comprehensive Income - by Nature & Type	5
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2	Variance Report	9-10

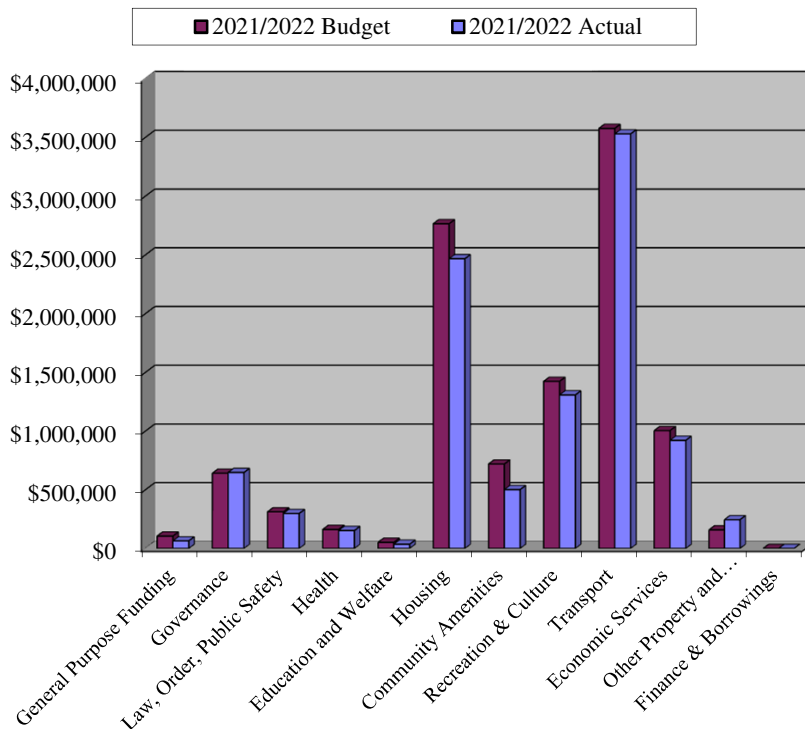

Manager Corporate &
Community Services

SHIRE OF KOJONUP
EXECUTIVE SUMMARY
For the period ending 31 May 2022

Operating Revenue (by Program)

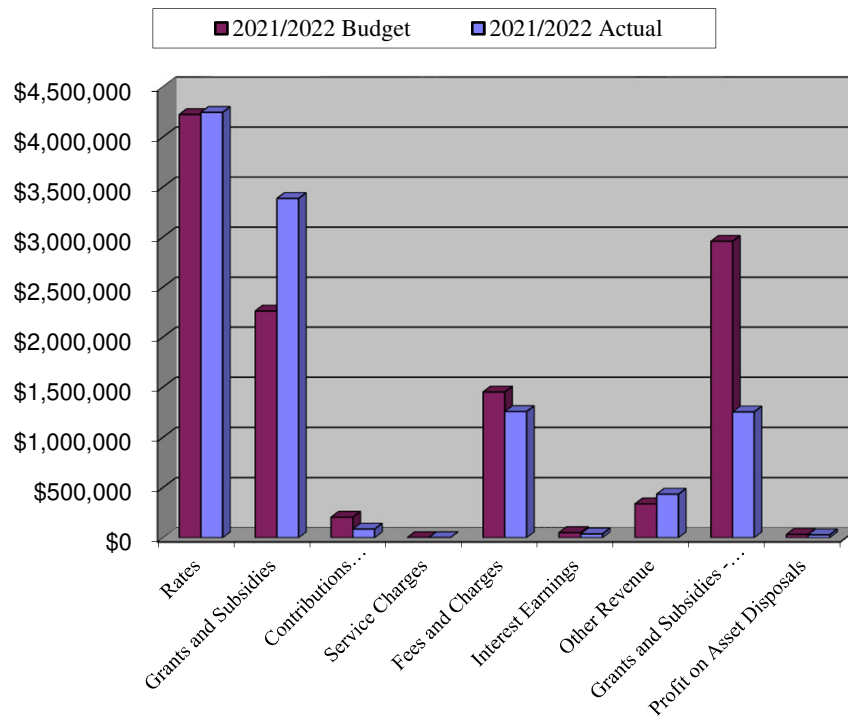


Operating Expenditure (by Program)

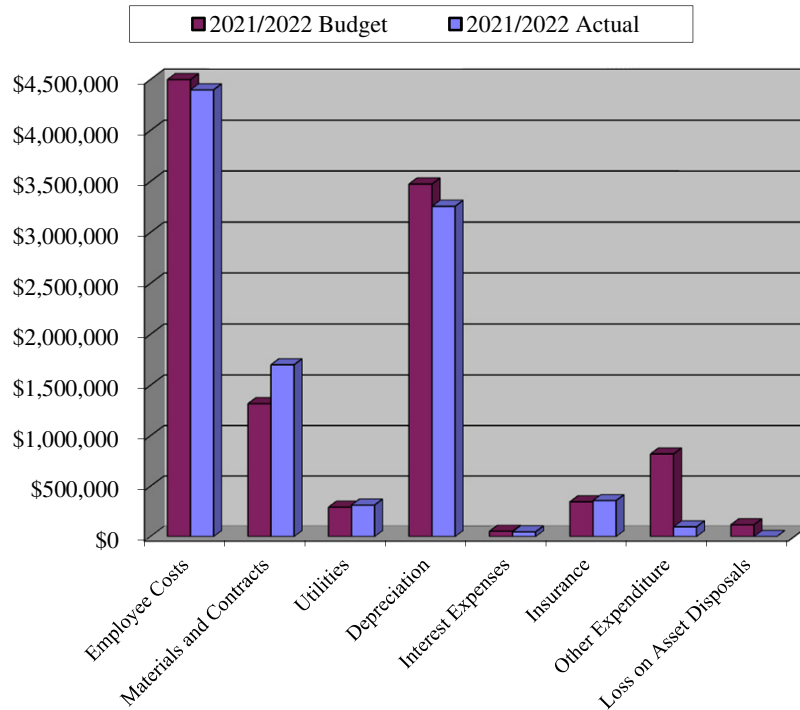


SHIRE OF KOJONUP
EXECUTIVE SUMMARY
For the period ending 31 May 2022

Operating Revenue (by Nature/Type)

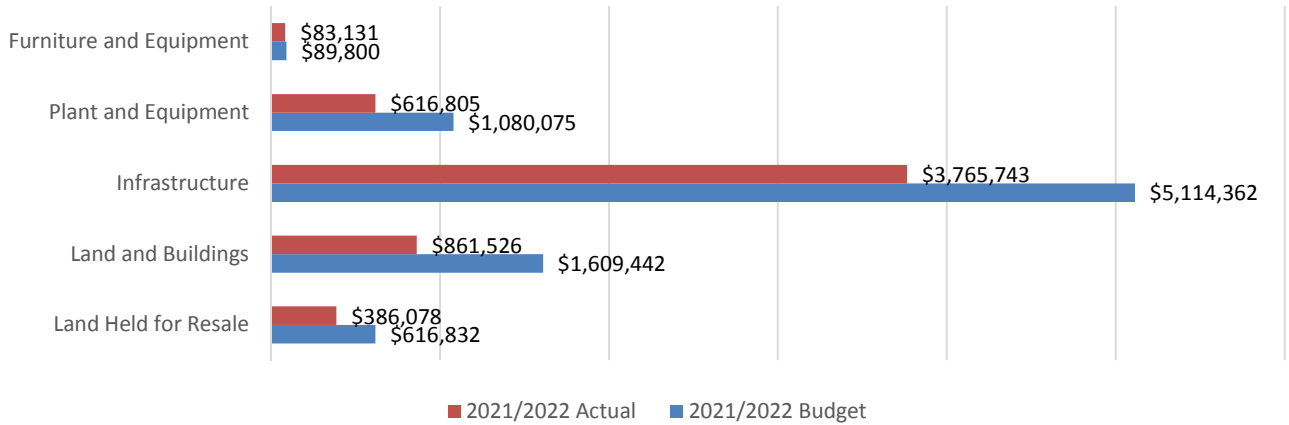


Operating Expenditure (by Nature / Type)

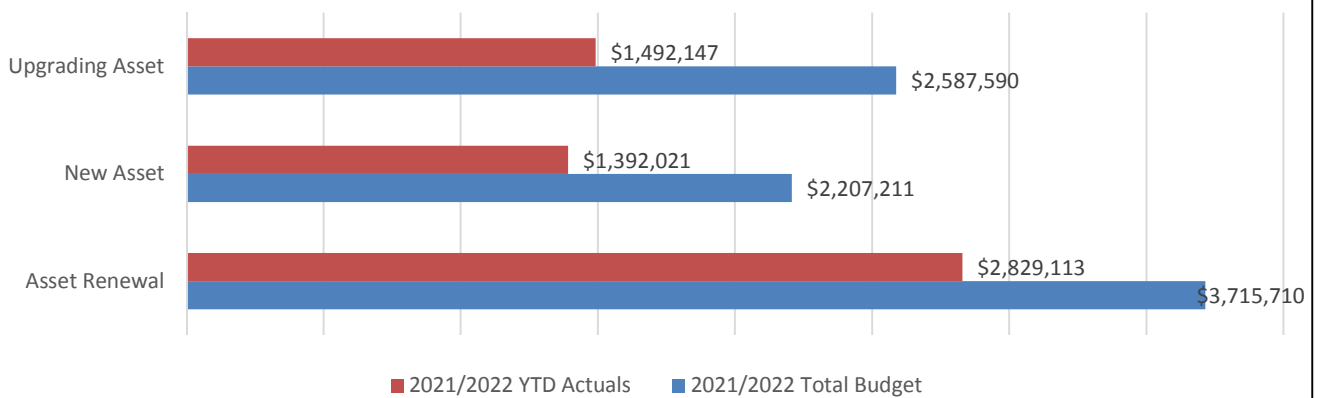


SHIRE OF KOJONUP
EXECUTIVE SUMMARY
For the period ending 31 May 2022

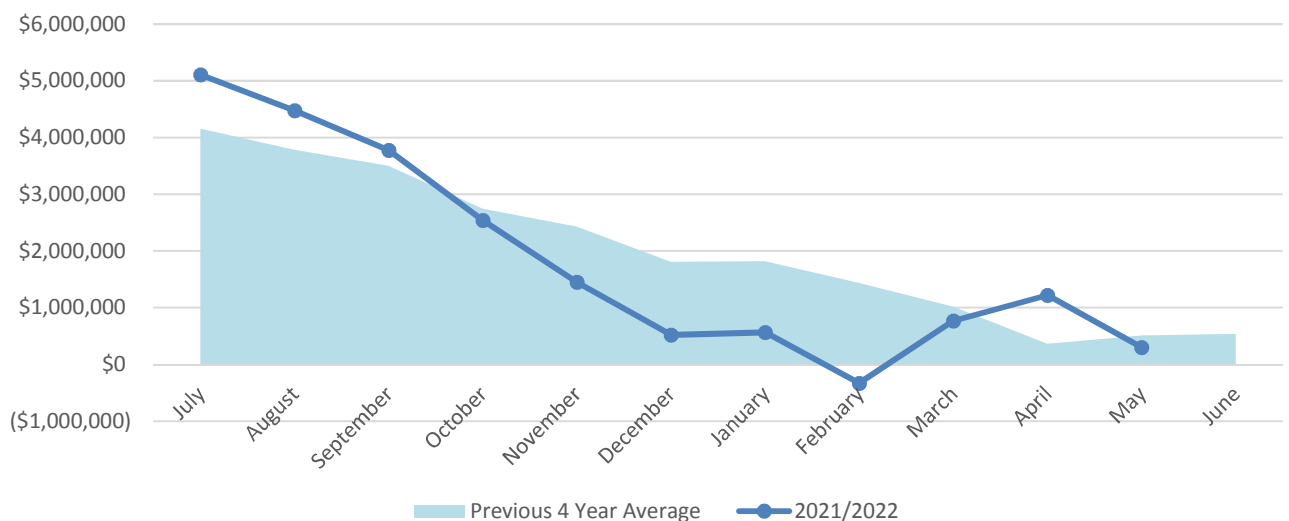
Capital Expenditure - By Asset Class



Capital Expenditure - By Asset Investment Type



Closing Position - Surplus or (Deficit)



SHIRE OF KOJONUP
Statement of Comprehensive Income - by Program
For the period ending 31 May 2022

More Info Page #	2021/2022 Budget \$	2021/2022 YTD Budget \$	2021/2022 Actual \$	Variance
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1(a) SOCI - BY PROGRAM

Operating Revenue

General Purpose Funding	(\$5,042,902)	(\$4,974,396)	(\$6,302,941)	27%
Governance	(\$36,450)	(\$33,374)	(\$35,225)	6%
Law, Order, Public Safety	(\$55,970)	(\$42,923)	(\$37,978)	-12%
Health	(\$2,100)	(\$1,914)	(\$833)	-56%
Education and Welfare	(\$29,850)	(\$27,346)	(\$29,853)	9%
Housing	(\$2,621,000)	(\$2,331,184)	(\$2,388,552)	2%
Community Amenities	(\$388,180)	(\$355,619)	(\$360,599)	1%
Recreation and Culture	(\$1,346,807)	(\$1,315,206)	(\$263,963)	-80%
Transport	(\$1,371,969)	(\$1,041,125)	(\$857,294)	-18%
Economic Services	(\$366,432)	(\$347,675)	(\$224,500)	-35%
Other Property and Services	(\$253,683)	(\$215,880)	(\$220,639)	2%
Finance & Borrowings	\$0	\$0	\$0	
	(\$11,515,343)	(\$10,686,642)	(\$10,722,378)	0%

Operating Expenditure

General Purpose Funding	\$105,699	\$96,800	\$64,259	-34%
Governance	\$640,940	\$587,026	\$647,039	10%
Law, Order, Public Safety	\$312,228	\$290,106	\$297,785	3%
Health	\$162,015	\$148,368	\$152,747	3%
Education and Welfare	\$52,062	\$47,575	\$36,217	-24%
Housing	\$2,765,003	\$2,533,817	\$2,467,323	-3%
Community Amenities	\$719,283	\$658,625	\$501,279	-24%
Recreation & Culture	\$1,423,989	\$1,303,676	\$1,308,362	0%
Transport	\$3,576,668	\$3,276,882	\$3,529,457	8%
Economic Services	\$1,004,585	\$920,304	\$921,429	0%
Other Property and Services	\$158,232	\$144,705	\$245,196	69%
Finance & Borrowings	\$0	\$0	\$0	
	\$10,920,705	\$10,007,884	\$10,171,093	2%

Net Result

	\$594,637	\$678,758	\$551,285
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"Traffic Lights" Colour Coding:

For the purposes of identifying "material variances" under Local Government (Financial Management) Regulation 34, the Council has defined a formula in Council Policy 2.1.6 (see also Variance Report in these Statements).

To simplify this reporting, a traffic light system is used in the variance column of the Statement of Comprehensive Income and the Rate Setting Statement, as follows:

Revenue:

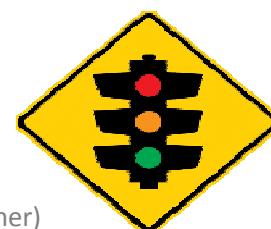
Green = Actual Revenue is greater than Year-to-Date budgeted revenue

Red = Variance between Actual Revenue and Year-to-Date budget is greater than 10% (lower)

Expenditure:

Green = Actual Expenditure is less than Year-to-Date budgeted expenditure

Red = Variance between Actual Expenditure and Year-to-Date budget is greater than 10% (higher)



SHIRE OF KOJONUP
Statement of Comprehensive Income - by Nature & Type
For the period ending 31 May 2022

1(b) SOCI - BY NATURE & TYPE

	More Info Page #	2021/2022 Budget \$	2021/2022 YTD Budget \$	2021/2022 Actual \$	Variance
Revenues from Ordinary Activities					
Rates	16	(\$4,223,477)	(\$4,223,477)	(\$4,244,756)	1%
Grants and Subsidies		(\$2,259,627)	\$ (2,071,325)	(\$3,384,464)	63%
Contributions Reimbursements & Donations		(\$204,464)	\$ (187,425)	(\$85,587)	-54%
Service Charges		\$0	\$ -	\$0	
Fees and Charges		(\$1,450,662)	\$ (1,329,773)	(\$1,255,287)	-6%
Interest Earnings		(\$50,848)	\$ (46,611)	(\$38,092)	-18%
Other Revenue		(\$336,783)	\$ (308,718)	(\$433,379)	40%
		<u>(\$8,525,861)</u>	<u>(\$8,167,329)</u>	<u>(\$9,441,564)</u>	
Expenses from Ordinary Activities					
Employee Costs		\$4,499,646	\$ 4,124,675	\$4,399,104	7%
Materials and Contracts		\$1,318,380	\$ 1,208,515	\$1,701,738	41%
Utilities		\$291,950	\$ 267,621	\$312,978	17%
Depreciation		\$3,475,062	\$ 3,185,474	\$3,256,258	2%
Interest Expenses		\$53,048	\$ 48,628	\$47,111	-3%
Insurance		\$345,471	\$ 316,682	\$356,865	13%
Other Expenditure		\$819,648	\$ 751,344	\$97,037	-87%
		<u>\$10,803,205</u>	<u>\$9,902,938</u>	<u>\$10,171,093</u>	
Sub-Total		<u>\$2,277,345</u>	<u>\$1,735,610</u>	<u>\$729,529</u>	
Grants and Subsidies - non-operating		(\$2,956,482)	\$ (2,710,109)	(\$1,251,576)	-54%
Profit on Asset Disposals		(\$33,000)	\$ (30,250)	(\$29,238)	-3%
Loss on Asset Disposals		\$117,500	\$ 107,708	\$0	-100%
NET RESULT		<u>(\$594,637)</u>	<u>(\$897,040)</u>	<u>(\$551,285)</u>	

SHIRE OF KOJONUP
Rate Setting Statement
For the period ending 31 May 2022

1(c) RATE SETTING STATEMENT

	More Info Page #	2021/2022 Budget	2021/2022 YTD Budget	2021/2022 Actual	Variance
Net Result from Operations:		\$594,637	\$678,758	\$551,285	
Less Non-Operating Grants		(\$2,956,482)	(\$2,710,109)	(\$1,251,576)	
Non Cash Items Written Back					
(Profit)/Loss on Asset Disposals		\$84,500	\$84,648	(\$29,238)	-135%
(Increase)/decrease in Deferred Rates		\$0	\$0	\$0	
Increase/(decrease) in Accrued Expenses		\$0	\$0	(\$640)	
Change in Provision for Doubtful Debts		\$2,000	\$0	\$0	
Change in Accrued Leave & Interest Provisions		\$0	\$0	\$0	
Depreciation on Assets		\$3,475,062	\$3,184,071	\$3,256,258	2%
CASH PROVIDED BY OPERATIONS		\$1,199,717	\$1,237,368	\$2,526,090	
CAPITAL INVESTMENT					
Capital Revenue					
Non-Operating Grants		\$2,956,482	\$2,710,109	\$1,251,576	
Proceeds from Disposal of Assets	36	\$319,000	\$292,417	\$205,795	-30%
		\$3,275,482	\$3,002,525	\$1,457,371	
Capital Expenditure					
Land Held for Resale	11-12	\$616,832	\$565,429	\$386,078	-32%
Land and Buildings	11-12	\$1,609,442	\$1,475,322	\$861,526	-42%
Infrastructure	11-12	\$5,114,362	\$4,688,165	\$3,765,743	-20%
Plant and Equipment	11-12	\$1,080,075	\$990,069	\$616,805	-38%
Furniture and Equipment	11-12	\$89,800	\$82,317	\$83,131	1%
		\$8,510,511	\$7,801,302	\$5,713,282	-27%
CASH REQUIRED FOR CAPITAL INVESTMENT		(\$5,235,029)	(\$4,798,777)	(\$4,255,910)	
FINANCING ACTIVITIES					
Loans					
Repayment of Debentures	17	\$254,654	\$233,433	\$241,953	4%
Proceeds from New Debentures	17	(\$2,786,833)	(\$2,554,597)	(\$1,500,000)	-41%
Self-Supporting Loan Principal Income	17	\$0	\$0	\$0	
Fund Transfers					
Transfers to Reserves	13	\$1,013,515	\$929,055	\$1,211,621	30%
Transfers from Reserves	13	(\$1,290,907)	(\$1,183,331)	(\$878,993)	-26%
Transfer from Springhaven Reserve	13	\$0	\$0	\$782,145	
Transfer to Springhaven Reserve	13	\$0	\$0	(\$930,000)	
Transfer from Restricted Monies	37	(\$223,749)	(\$205,103)	(\$1,207,941)	
Transfer to Restricted Monies	37	\$0	\$0	\$1,251,576	
CASH PROVIDED BY FINANCING ACTIVITIES		\$3,033,320	\$2,780,543	\$1,029,639	
SUMMARY:					
SURPLUS/(DEFICIT) 1st JULY		\$1,001,992		\$1,001,992	
Cash Provided by Operations		\$1,199,717		\$2,526,090	
Cash Required for Capital Investment		(\$5,235,029)		(\$4,255,910)	
Cash Provided through Financing Activities		\$3,033,320		\$1,029,639	
CLOSING SURPLUS OR (DEFICIT)	7	\$0		\$301,811	

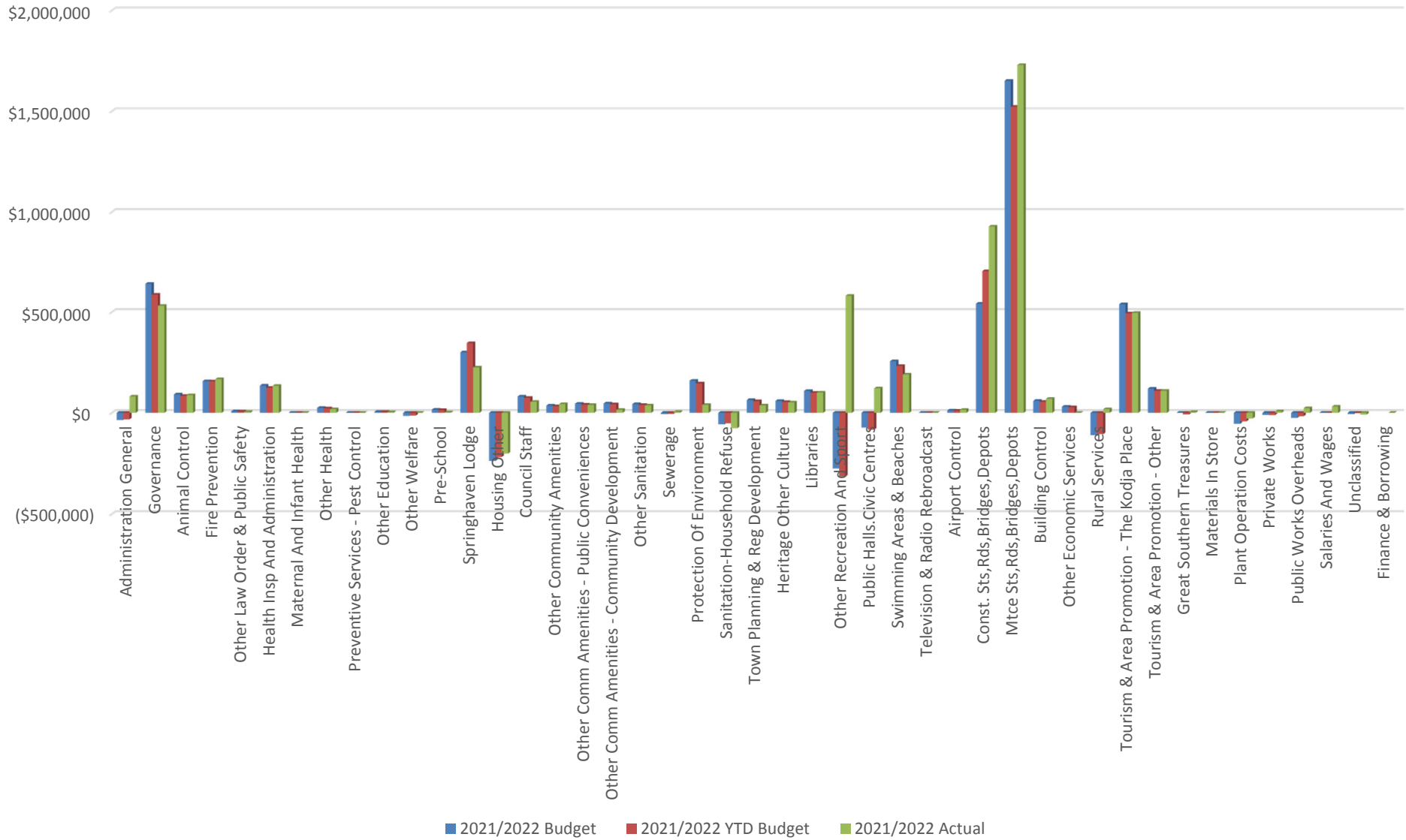
SHIRE OF KOJONUP
Representation of Surplus or Deficit
For the period ending 31 May 2022

	More Info Page #	2021/2022 Budget	2021/2022 Actual \$	Same Time Last Year \$
1(d) SURPLUS / (DEFICIT) REPRESENTED BY:				
<u>Comprises:</u>				
Cash - Unrestricted		\$ 150,000	\$ 130,593	
Cash - Restricted Cash (see Note 10)		\$ -	\$ 267,384	
Cash - Restricted Reserves	13	\$ 3,280,091	\$ 3,871,807	
Cash - On Hand (Floats)		\$ 640	\$ 640	
Stock on Hand		\$ 8,000	\$ 83,396	
Sundry Debtors	16	\$ 300,000	\$ 590,921	
Rates Debtors - Current	16	\$ 330,000	\$ 443,401	
Other Debtors		\$ 5,000	\$ 102,369	
<u>Less:</u>				
Sundry Creditors		\$ (713,640)	\$ (604,108)	
Tax Owed or (Payable)		\$ (10,000)	\$ (87,679)	
Builders Retention		\$ (30,000)	\$ (105,265)	
RAAP Grant (Creditor)		\$ -	\$ (237,239)	
Grants/Contrib Carried as Liabilities (AASB15)		\$ -	\$ -	
Payables and Provisions		\$ (40,000)	\$ (15,218)	
<u>Add Back:</u>				
Cash Reserves	13	\$ (3,280,091)	\$ (3,871,807)	
Restricted Cash (see Note 10)		\$ -	\$ (267,384)	
Adjustments - SHL Bond Transfer Outstanding				
CLOSING SURPLUS OR (DEFICIT)		\$ -	\$ 301,810	\$ 170,334

The "cash" figures shown above are all held in transaction style bank accounts, with the exception of

Cash - Restricted Reserves	Term Deposit Maturing	\$ -
		\$ -

Net Cost per Sub-Program (Excluding General Purpose Funding)



SHIRE OF KOJONUP
MONTHLY FINANCIAL STATEMENTS
For the period ending 31 May 2022

2. VARIANCE REPORT

Variance Reporting Requirements

The Local Government (Financial Management) Regulation 34 (2) (b) requires 'an explanation of each of the material variances' identified within the Rate Setting Statement (from the adopted Budget) for each months financial statements. The information contained within the 'Municipal Fund Summary' on pages 1 to 4 of these financial statements contains all of the information provided within the 'Rate Setting Statement' and therefore any material variances on these pages will be reported below.

Defining a 'Material Variance'

The Local Government (Financial Management) Regulation 34 (5) states that "Each financial year, a local government is to adopt a percentage or value, calculated in accordance with AASS, to be used in statements of financial activity for reporting material variances." The Shire's policy 2.1.6, 'Material Variances' states:

For the purposes of identifying "material variances" under Local Government (Financial Management) Regulation 34, the following formula shall be used:

$$\frac{\text{Year-to-Date Actual}}{\text{Year-to-Date Budget}} - 100\%$$

Material variances to be reported when exceeding 10%, and a minimum of \$10,000, of the items contained within the rate setting statement.

Variances Reported:

	YTD Budget	Actual	Variance %	Difference \$'s	Category	Comments
<u>Operating Revenue</u>						
Recreation and Culture	\$ (1,315,206)	\$ (263,963)	-80%	\$ (1,051,243)	Timing	Grant revenue for major capital projects matches expenditure milestones and acquittal requirements.
Transport	\$ (1,041,125)	\$ (857,294)	-18%	\$ (183,831)	Timing	Road grant claims have been made but not yet invoiced.
Economic Services	\$ (347,675)	\$ (224,500)	-35%	\$ (123,175)	Timing	Grant revenue for drought funding capital projects matches expenditure milestones and acquittal requirements.
<u>Operating Expenditure</u>						
Governance	\$ 587,026	\$ 647,039	10%	\$ (60,013)	Timing	Administration Overheads appear under-allocated as this process needs to be re-run.
Other Property and Services	\$ 144,705	\$ 245,196	69%	\$ (100,491)	Timing	Public Works Overheads & Plant Overheads are under allocated due to staff shortages in the works & services department. Accrued wages from 30 June 2021 needs to be reversed

Variances Reported:

	YTD Budget	Actual	Variance %	Difference \$'s	Category	Comments
<u>CAPITAL INVESTMENT</u>						
Proceeds from Disposal of Assets	\$ (292,417)	\$ (205,795)	-30%	\$ (86,621)	Timing	Plant & vehicle trade-ins occur with the purchase of new plant not at an even amount per month.
<u>FINANCING ACTIVITIES</u>						
Proceeds from New Debentures	\$ (2,554,597)	\$ (1,500,000)	-41%	\$ (1,054,597)	Timing	All new loans are taken out in Q3 & Q4 in conjunction with expenditure incurred.
Transfers to Reserves	\$ 929,055	\$ 1,211,621	30%	\$ (282,565)	Permanent	\$930,000 Springhaven resident bonds have been transferred to reserve (no budget provision is made for this)(this has no effect on the Shire's financial position).
Transfers from Reserves	\$ (1,183,331)	\$ (878,993)	-26%	\$ (304,339)	Timing	Transfers from reserve accounts are linked to the funding of major projects and only occur to match expenditure incurred.

SHIRE OF KOJONUP

Detailed May 2022 Creditors List

Cheque Payments 1/05/22 - 31/05/22				
Chq/EFT	Date	Name	Description	Amount
14335	05/05/2022	Water Corporation	Water Usage	-26648.00
0015	21/04/2022	Water Corporation	a/c9023606321 for 8A Newton St 01/03/22-30/04/22	248.80
0153	21/04/2022	Water Corporation	a/c9007697710 for 8 Newton St 18/02/22-20/04/22	65.07
0176	21/04/2022	Water Corporation	a/c9007697921 for 39 Vanzuilecom St 18/02/22-20/04/22, a/c9007697921 for 39 Vanzuilecom St 18/02/22-20/04/22	148.41
0015	21/04/2022	Water Corporation	a/c9023606348 for 8B Newton St 01/03/22-30/04/22	248.80
0163	21/04/2022	Water Corporation	a/c9007693349 for toilets at Benn Pde 18/02/22-20/04/22	175.34
0129	21/04/2022	Water Corporation	a/c9007693357 for club at Benn Pde 18/02/22-20/04/22	30.02
0166	21/04/2022	Water Corporation	a/c9007693445 for park at Albany Hwy 18/02/22-20/04/22	594.15
0168	21/04/2022	Water Corporation	a/c9007693509 for 2 Albany Hwy 18/02/22-20/04/22	114.49
0133	21/04/2022	Water Corporation	a/c9010495140 for centre at Broomehill Rd 17/02/22-20/04/22	2751.79
0168	21/04/2022	Water Corporation	a/c9007692223 for Standpipe at Albany Hwy 17/02/22-20/04/22	6136.32
0171	21/04/2022	Water Corporation	a/c9007693082 for Depot at Bilston St 18/02/22-20/04/22	176.03
0152	21/04/2022	Water Corporation	a/c9007693146 for sale yard at Soldier Rd 18/02/22-20/04/22	675.84
0166	21/04/2022	Water Corporation	a/c9007693330 for Swimming pool at Benn Pde 18/02/22-20/04/22	2409.75
0013	21/04/2022	Water Corporation	a/c9023603884 for 8C Newton St 18/02/22-20/04/22, a/c9023603884 for 8C Newton St 18/02/22-20/04/22	256.24
0161	22/04/2022	Water Corporation	a/c9008790482 for Centret at Murby St 22/02/22-21/04/22	135.68
0154	22/04/2022	Water Corporation	a/c9007693605 for workshop at 135 Albany Hwy 18/02/22-21/04/22	245.06
0125	22/04/2022	Water Corporation	a/c9007695766 for museum at Barracks PI 22/02/22-21/04/22	46.39
0106	22/04/2022	Water Corporation	a/c9012927082 for 4 Elverd St 18/02/22-21/04/22	304.57
0130	22/04/2022	Water Corporation	a/c9007695897 for museum at Soldier Rd 22/02/22-21/04/22	30.02
0133	22/04/2022	Water Corporation	a/c9010045713 for 5A Vanzuilecom St 18/02/22-21/04/22	414.14
0131	22/04/2022	Water Corporation	a/c9010045721 fo 5B Vanzuilecom St 18/02/22-21/04/22	271.11
0121	22/04/2022	Water Corporation	a/c9007699572 for cemetery 5l Soldier Rd 22/02/22-21/04/22	106.43
0106	22/04/2022	Water Corporation	a/c9012927074 for 6 Elverd St 18/02/22-21/04/22	308.29
0129	22/04/2022	Water Corporation	a/c9007695686 for Youth Centre 14 Pensioner Rd 22/02/22-21/04/22	87.33
0165	22/04/2022	Water Corporation	a/c9007695694 for museum at 20 Spring St 22/02/22-21/04/22	48.17
0168	22/04/2022	Water Corporation	a/c9007695715 for toilets at Barracks PI 22/02/22-21/04/22	250.30
0027	22/04/2022	Water Corporation	a/c9023522881 for 79 Soldier Rd 01/03/22-30/04/22	126.96
0108	22/04/2022	Water Corporation	a/c9012927090 for 2 Elverd St 18/02/22-21/04/22	272.97
0031	22/04/2022	Water Corporation	a/c9021629554 for 1 Loton Cl 01/03/22-30/04/22	248.80
0031	22/04/2022	Water Corporation	a/c9021629562 for 3 Loton Cl 01/03/22-30/04/22	248.80
0031	22/04/2022	Water Corporation	a/c9021629570 for 5 Loton Cl 01/03/22-30/04/22	248.80
0031	22/04/2022	Water Corporation	a/c9021629589 for 7 Loton Cl 01/03/22-30/04/22	248.80
0004	22/04/2022	Water Corporation	a/c9023522910 for 13 Loton Cl 01/03/22-30/04/22	248.80
0031	22/04/2022	Water Corporation	a/c9021629597 for 9 Loton Cl 01/03/22-30/04/22	248.80
0032	22/04/2022	Water Corporation	a/c9021629618 for 11 Loton Cl 01/03/22-30/04/22	248.80
0034	22/04/2022	Water Corporation	a/c9021629626 for residential at Soldier Rd 22/02/22-21/04/22	700.61
0031	22/04/2022	Water Corporation	a/c9021746216 for 15 Loton Cl 01/03/22-30/04/22	248.80
0173	22/04/2022	Water Corporation	a/c9007695790 for 15 Barracks PI 22/02/22-21/04/22	2923.53
0164	22/04/2022	Water Corporation	a/c9007695803 for house at Soldier Rd 22/02/22-21/04/22	407.33
0017	22/04/2022	Water Corporation	a/c9023555392 for 12A Elverd St 18/02/22-21/04/22, a/c9023555392 for 12A Elverd St 18/02/22-21/04/22	346.05
0015	22/04/2022	Water Corporation	a/c9023555405 for 12B Elverd Rd 18/02/22-21/04/22, a/c9023555405 for 12B Elverd Rd 18/02/22-21/04/22	276.69
0136	26/04/2022	Water Corporation	a/c901312252 for 30 Katanning Rd 23/02/22-22/04/22, a/c901312252 for 30 Katanning Rd 23/02/22-22/04/22	80.27
0022	26/04/2022	Water Corporation	a/c9022950235 for rear unit 93 Bagg St 01/03/22-30/04/22	209.95
0181	26/04/2022	Water Corporation	a/c9007696056 for bank at 109 Albany Hwy 22/02/22-22/04/22	366.79
0168	26/04/2022	Water Corporation	a/c9007696101 for hall at 99 Albany Hwy 22/02/22-22/04/22	301.69
0121	26/04/2022	Water Corporation	a/c9007696793 for parkat 16 Newstead Rd 22/02/22-22/04/22	319.29
0170	26/04/2022	Water Corporation	a/c9007797797 for Standpipe at Blackwood Rd 23/02/22-22/04/22	274.28
0138	26/04/2022	Water Corporation	a/c9010312244 for medical centre at 34 Katanning Rd 23/02/22-22/04/22	47.77
0117	26/04/2022	Water Corporation	a/c9012449121 for office at Albany Hwy 22/02/22-22/04/22	1166.42
0023	26/04/2022	Water Corporation	a/c9022950227 for front unit 93 Bagg St 01/03/22-30/04/22	248.80
0012	26/04/2022	Water Corporation	a/c902377401 for 26 Katanning Rd 23/02/22-22/04/22	198.19
0012	26/04/2022	Water Corporation	a/c9023737428 for 28 Katanning Rd 23/02/22-22/04/22	111.47
14336	05/05/2022	Sandra Gail Pedler	Gift	-200.00
020522	02/05/2022	Sandra Gail Pedler	Presentation - Retiring Councillor as per policy 3.70	200.00
14337	19/05/2022	Water Corporation	Water Usage	-911.24
0091	27/04/2022	Water Corporation	a/c9011484777 Truck Wash Soldier Rd 14/01/22 - 07/04/22	424.06
0103	29/04/2022	Water Corporation	a/c9009365808 Springhaven Barracks PI 01/01/22 - 31/03/22	487.18

EFT Payments 1/05/22 - 31/05/22				
Chq/EFT	Date	Name	Description	Amount
EFT30025	05/05/2022	MARINA JANE MURRAY	Reimbursement	-83.29
28/04/22	28/04/2022	MARINA JANE MURRAY	Telephone and Internet Usage from 06/02/22 - 05/03/22	83.29
EFT30026	05/05/2022	Air Liquide	Gas Rental	-23.54
XZ5568	28/02/2022	Air Liquide	Cylinder Fee	23.54
EFT30027	05/05/2022	Susan Barbara Piesse	REFUND OF BOND FOR HIRE OF SPORTING COMPLEX 19/04/22	-450.00
T175	02/05/2022	Susan Barbara Piesse	Sporting Complex Bond	450.00
EFT30028	05/05/2022	Cr Edwin James Radford	Councillor Fees	-12431.05
JAN - MAR 2022	03/05/2022	Cr Edwin James Radford	Claim for Councillor Fees and Reimbursements 01/01/22 - 31/03/22, Claim for Councillor Fees and Reimbursements 01/01/22 - 31/03/22, Claim for Councillor Fees and Reimbursements 01/01/22 - 31/03/22	12431.05
EFT30029	05/05/2022	MARY RACHAEL HOBBS	Goods for Sale	-22.00
46	04/04/2022	MARY RACHAEL HOBBS	Embroidered Towel , For Sale in Visitor Centre Shop	22.00
EFT30030	05/05/2022	Cr Paul Webb	Councillor Fees	-5550.16
JAN - MAR 2022	31/03/2022	Cr Paul Webb	Claim for Councillor Fees and Reimbursements 01/01/22 - 31/03/22, Claim for Councillor Fees and Reimbursements 01/01/22 - 31/03/22, Claim for Councillor Fees and Reimbursements 01/01/22 - 31/03/22	5550.16
EFT30031	05/05/2022	Australia Post	Postage	-267.43
1011408878	03/04/2022	Australia Post	Postage, Daily Mail for March 2022, GST	267.43
EFT30032	05/05/2022	Carony Pty Ltd	March 2022 Account	-2208.89
03-080764	01/03/2022	Carony Pty Ltd	Loton Close Units Maintenance - Tee and Nipple Hex	15.35
03-080780	01/03/2022	Carony Pty Ltd	Linesman & Multigrip Pliers, Hose Coupling	35.90
01-219218	02/03/2022	Carony Pty Ltd	Oxide Sandstone 500gm	17.00
01-219373	05/03/2022	Carony Pty Ltd	Mens Shed - Hardieflex for wall	55.50
03-081111	08/03/2022	Carony Pty Ltd	Apex Park - Magna Latch Side Pull Lockable	51.75
01-219429	09/03/2022	Carony Pty Ltd	Poly Joiner 13mm	9.60
03-081163	09/03/2022	Carony Pty Ltd	Memorial Hall - Bremick Single Eye Padbolt	9.90
01-219416	09/03/2022	Carony Pty Ltd	Polytube 25m	28.50
04-372218	09/03/2022	Carony Pty Ltd	2 Coloured A4 Pads	9.00
04-372342	10/03/2022	Carony Pty Ltd	Leaving Cards for Depot	31.95
01-219540	11/03/2022	Carony Pty Ltd	Screw 10gx25 bx100	31.75
01-219688	15/03/2022	Carony Pty Ltd	6 x storage boxes with lids for store room, 1 x black tub for small machinery room	192.75
04-372860	15/03/2022	Carony Pty Ltd	14pce Nut Driver Set	12.95
01-219695	15/03/2022	Carony Pty Ltd	4 x storage box with lids, 4 x black stacking crates	201.00
03-081443	16/03/2022	Carony Pty Ltd	Kenwood handmix Lite	18.00
03-081502	17/03/2022	Carony Pty Ltd	Racumin Rat & Mouse Paste, Potting Mix	66.15
08-012805	22/03/2022	Carony Pty Ltd	Newspapers	37.40
04-373953	23/03/2022	Carony Pty Ltd	Cross Barbed4mm, 4mm Barb Tee 10PK	20.85
03-081687	23/03/2022	Carony Pty Ltd	Dripper Line And Cross Barbed Joiners For Katanning Road Houses.	113.75
03-081680	23/03/2022	Carony Pty Ltd	Dripper Line And Cross Barbed Joiners For Katanning Road Houses.	112.65
03-081731	24/03/2022	Carony Pty Ltd	Philmac Socket BSP 1/2",16.44"	16.44
03-081746	24/03/2022	Carony Pty Ltd	March 2022 Dryer Springhaven	578.00
03-081747	24/03/2022	Carony Pty Ltd	vaccume for Rec Room and hand held Vaccume	308.00
01-220344	28/03/2022	Carony Pty Ltd	Kitchen Urn for Rec Room	107.75
01-220464	31/03/2022	Carony Pty Ltd	Gumboot Blk Steel Cap Sz9	42.00
01-220475	31/03/2022	Carony Pty Ltd	Ratsak Double Strength	85.00
EFT30033	05/05/2022	Telstra	Telecommunications	-1566.49
T 311 MAR 22	25/03/2022	Telstra	iPad/Mobile charges for CEO 25/02/22 - 24/03/22, iPad charges for Kodja Place 25/02/22 - 24/03/22, iPad charges for MCCS 25/02/22 - 24/03/22, iPad/tablet charges for Springhaven 25/02/22 - 24/03/22, Mobile charges for MWS 25/02/22 - 24/03/22, Twig Tone Devices 25/02/22 - 24/03/22, Standpipe controller on Stock Rd 25/02/22 - 24/03/22, Damaged Footway and manhole covers - site survey on 08/03/22	829.00
T 311 APR 22	18/04/2022	Telstra	Internet charges for Kodja Place from 18/04/2022 - 17/05/2022, Mobile charges for Snr Ranger from 18/04/2022 - 17/05/2022, iPad charges for MCCS Place from 18/04/2022 - 17/05/2022, iPad charges for MRS from 18/04/2022 - 17/05/2022, iPad charges for MWS from 18/04/2022 - 17/05/2022, Mobile charges for Springhaven staff from 18/04/2022 - 17/05/2022, Phone charges for Springhaven solar panels from 18/04/2022 - 17/05/2022, Phone charges for Avdata monitoring system from 18/04/2022 - 17/05/2022	304.20

K583003190-8	18/04/2022	Telstra	Shire office landline and modem, Bushfire landline Shire office and Kodja Place, Kodja Place landline and modem, Springhaven landline and modem, Depot security landline, Airstrip landline, Swimming pool landline	433.29
EFT30034	05/05/2022	Synergy	Electricity	-1906.28
2069496587	13/04/2022	Synergy	a/c 375598810 for 26 Katanning Rd House 11/02/22 - 12/04/22	286.45
3000176964	14/04/2022	Synergy	a/c105148670 for Loc2418 Albany Hwy 11/02/22 - 05/04/22, a/c647537230 for 111 Albany Hwy 09/03/22 - 12/04/22, a/c108640990 for Lot 147 Albany Hwy 01/01/22 - 02/03/22	848.68
2037505390	19/04/2022	Synergy	a/c337284750 for 143 Albany Hwy 15/03/2022-18/04/2022	771.15
EFT30035	05/05/2022	Kleenheat Gas Pty Ltd	Bulk Gas	-714.72
21909858	07/03/2022	Kleenheat Gas Pty Ltd	Supply 366.90 bulk LPG for Springhaven	66.77
21919916	02/04/2022	Kleenheat Gas Pty Ltd	Supply bulk LPG for Springhaven	426.60
21924359	13/04/2022	Kleenheat Gas Pty Ltd	Supply bulk 183.60 LPG for Sports Complex	221.35
EFT30036	05/05/2022	Kojonup Tyre Service	Tyre Services	-99.00
INV-1818	14/04/2022	Kojonup Tyre Service	Robert Jehu - Isuzu Max -KO 914 - Wheel Allignment	99.00
EFT30037	05/05/2022	Stirling Freight	Freight	-81.97
CISF483201	31/03/2022	Stirling Freight	From Nedlands on 09/03/22	81.97
EFT30038	05/05/2022	Kojonup Auto Electrical Services	Auto electrics	-407.25
4663	29/12/2021	Kojonup Auto Electrical Services	Muradup Truck - red light on dash with speed limited sign	146.40
6239	11/04/2022	Kojonup Auto Electrical Services	Hino 700 - KO 163 - Warning lights appeared on dash board., SCR light and engine light flashing, Investigate and fix	260.85
EFT30039	05/05/2022	Westrac Equipment	Grader - Truck Parts	-296010.00
1800022282	31/03/2022	Westrac Equipment	Purchase: CAT 140 Grader with quoted accessories, Trade In: CAT 12M Grader - KO 007 (2011)	296010.00
EFT30040	05/05/2022	BOC Gases	Industrial Gases	-28.20
4031093751	28/04/2022	BOC Gases	1x Oxygen Industrial Size G	28.20
EFT30041	05/05/2022	Egabva Plumbing & Gas Service	Plumbing	-133.93
4051	11/03/2022	Egabva Plumbing & Gas Service	Fix Water Leak near Meter at the Netball Courts	133.93
EFT30042	05/05/2022	Lotex Filter Cleaning Service	Filter	-65.36
7987	08/03/2022	Lotex Filter Cleaning Service	Colarado Panel & M131802 Filters, Ranger Filter	65.36
EFT30043	05/05/2022	Winc Australia Pty Ltd	Office supplies	-307.04
9039078873	27/04/2022	Winc Australia Pty Ltd	Monitor, Monitor riser, laptop riser for FO. Spare computer Keyboard / mouse & Stationary	307.04
EFT30044	05/05/2022	Paul Hartmann Pty Ltd	Healthcare products	-1187.17
437216438	04/04/2022	Paul Hartmann Pty Ltd	Springhaven continence aids April 2022	1187.17
EFT30045	05/05/2022	Hersey's Safety Pty Ltd	Safety Equipment	-419.38
47700	07/04/2022	Hersey's Safety Pty Ltd	2 x bypass dryner, 2 x d-shackles, 2 x hand spades, 2 x boxes latex gloves, 1 x stanley trimmer, 100 x cable ties	264.28
48368	07/04/2022	Hersey's Safety Pty Ltd	4 x 50mm ratchet straps, 2 x 35mm ratchet straps	155.10
EFT30046	05/05/2022	Kojonup Aboriginal Corporation	Goods for Sale	-268.56
MAR 2022	31/03/2022	Kojonup Aboriginal Corporation	On consignment	-121.93
APR22	30/04/2022	Kojonup Aboriginal Corporation	Goods sold on consignment	390.49
EFT30047	05/05/2022	Western Australian Treasury Corporation	Loan Repayment	-5538.74
APR - JUNE 2022	31/03/2022	Western Australian Treasury Corporation	Capital Repayment on Loan 136, Interest Repayment on Loan 136	5538.74
EFT30048	05/05/2022	Toll Transport	Freight	-399.01
0278-80774145	06/03/2022	Toll Transport	from Sunny Signs on 25/02/22, from WA Hino on 02/03/22	35.99
0279-80774145	13/03/2022	Toll Transport	from Sunny Signs on 08/03/22	11.01
0494-S104118	13/03/2022	Toll Transport	from Science and Nature on 02/03/22	34.66
0495-S104118	20/03/2022	Toll Transport	from Surgical House on 11/03/22, from Stewart & Heaton on 09/03/22	75.59
0280-80774145	27/03/2022	Toll Transport	from Westrac on 20/03/22	11.01
0496-S104118	03/04/2022	Toll Transport	from Surgical House on 07/02/22	61.75
0497-S104118	10/04/2022	Toll Transport	from Surgical House on 06/04/22	49.48
0281-80774145	10/04/2022	Toll Transport	from JTB Spares on 04/04/22	12.65
0282-80774145	17/04/2022	Toll Transport	from Asphalt in a bag on 01/04/22	106.87
EFT30049	05/05/2022	Optus Billing Services Pty Ltd	Telecommunications	-3100.52

259275906	10/03/2022	Optus Billing Services Pty Ltd	Optus Loop for Kodja Place 10/02/22 - 09/03/22	403.00
265336794	07/04/2022	Optus Billing Services Pty Ltd	Optus Loop for Admin 07/03/22 - 06/04/22	1202.31
265336797	07/04/2022	Optus Billing Services Pty Ltd	Optus Loop for Springhaven 07/03/22 - 06/04/22	512.00
265959086	10/04/2022	Optus Billing Services Pty Ltd	Optus Loop for Kodja Place 10/03/22 - 09/04/22	403.00
266529910	13/04/2022	Optus Billing Services Pty Ltd	Optus Loop for Depot 13/03/22 - 12/04/22	268.01
268161050	20/04/2022	Optus Billing Services Pty Ltd	Phone and internet charges - Admin 20/03/22 - 19/04/22, Phone and internet charges - Swimming Pool 20/03/22 - 19/04/22, Phone and internet charges - Kodja Place 20/03/22 - 19/04/22, Phone and internet charges - Springhaven 20/03/22 - 19/04/22, Phone and internet charges - Depot 20/03/22 - 19/04/22	312.20
EFT30050	05/05/2022	Elders Limited - Kojonup	Agricultural Products	-328.99
CW65753	28/04/2022	Elders Limited - Kojonup	Rose Maze - 2x20L Seasol	328.99
EFT30051	05/05/2022	South Regional TAFE	Training	-110.10
I0017888	08/04/2022	South Regional TAFE	ACMMIC401 Implant microchip in cats and dogs, Friday 13th May 2022, Stephanie SWAIN - 57CLRYUSDZ	110.10
EFT30052	05/05/2022	Katanning Mazda	Vehicle Parts	-568.80
R46997	13/04/2022	Katanning Mazda	Regulatory Services Manager - Robert Jehu - Isuzu Max - Roofrack	568.80
EFT30053	05/05/2022	BEST OFFICE SYSTEMS	Printing	-121.97
600445	30/03/2022	BEST OFFICE SYSTEMS	Kodja Place Konica Minolta C250i Photocopier Charges, Period - 20/02/2022 - 20/03/2022	121.97
EFT30054	05/05/2022	KOJONUP BMC EMBROIDERY	Uniforms	-2040.00
7976	25/03/2022	KOJONUP BMC EMBROIDERY	Springhaven uniform order all staff March 2022	2040.00
EFT30055	05/05/2022	Able Westchem	Cleaning materials	-1626.54
556690	05/04/2022	Able Westchem	Springhaven chemical order March 2022	1626.54
EFT30056	05/05/2022	SURGICAL HOUSE	Pharmaceuticals	-2756.10
A795925	02/03/2022	SURGICAL HOUSE	Springhaven Surgical house supplies March 2022, Springhaven Surgical house supplies March 2022	1278.05
A798260	16/03/2022	SURGICAL HOUSE	Springhaven Surgical house supplies March 2022	69.65
A801337	01/04/2022	SURGICAL HOUSE	Springhaven Surgical House April 2022, Springhaven Surgical House April 2022	1345.48
A801956	06/04/2022	SURGICAL HOUSE	Springhaven medical supplies for April 2022	62.92
EFT30057	05/05/2022	Albany Filterclean	Filter	-3.00
19013	29/03/2022	Albany Filterclean	Springhaven filter clean April 2022	3.00
EFT30058	05/05/2022	Christie Leanne McVee	Goods for Sale	-116.97
02052022	02/05/2022	Christie Leanne McVee	Goods sold on consignment Painting, Goods sold on consignment Qdong Earrings	116.97
EFT30059	05/05/2022	Nadine Milne (Tulip & Rose)	Wreath	-170.00
SOK290422	29/04/2022	Nadine Milne (Tulip & Rose)	2 x ANZAC Day wreaths for Kojonup and Muradup ANZAC services 2022	170.00
EFT30060	05/05/2022	Kodja Place Community Fund Inc.	Goods For Sale	-14.00
020522	02/05/2022	Kodja Place Community Fund Inc.	Goods sold on consignment - Sale-O-Book	14.00
EFT30061	05/05/2022	The Cott Family Trust t/a Oiltech Fuel	Diesel	-32806.06
20273	01/03/2022	The Cott Family Trust t/a Oiltech Fuel	Supply of 8300L @ 155.5cpl on 01/03/22	14197.15
20510	29/03/2022	The Cott Family Trust t/a Oiltech Fuel	Supply of 7050L @ 183.9cpl on 29/03/22	14261.45
20653	19/04/2022	The Cott Family Trust t/a Oiltech Fuel	Supply 2503 @ 157.9cpl on 19/04/22	4347.46
EFT30062	05/05/2022	Ramped Technology & Management Systems Pty Ltd	IT Support	-2860.00
INV-4115	27/04/2022	Ramped Technology & Management Systems Pty Ltd	x2 Lenova ThinkBook i5 11th Generation 8GB RAM 256GB SSD Mineral Gray	2860.00
EFT30063	05/05/2022	Anthony Middleton	Reimbursement	-447.75
030522	03/05/2022	Anthony Middleton	Phone and internet Charges as per MCCS contract for May 2022, Health Insurance Charges as per MCCS contract for May 2022	447.75

EFT30064	05/05/2022	IST Information Services and Technology Pty Ltd	Software licences	-726.00
22156	17/02/2022	IST Information Services and Technology Pty Ltd	MOSAiC V12 - 3 licenses, including data transfer from V10	726.00
EFT30065	05/05/2022	Betta Home Living House & Home	Furniture	-1556.00
35810027122	03/05/2022	Betta Home Living House & Home	2 x double bed frames, 2 x double bed mattresses as per quote 35812000757	1556.00
EFT30066	05/05/2022	Lenip Pty Ltd T/as ASPHALT IN A BAG	Asphalt	-3575.00
1490	01/04/2022	Lenip Pty Ltd T/as ASPHALT IN A BAG	2 x pallets of Asphalt in a Bag, Delivery via Toll	3575.00
EFT30067	05/05/2022	Wendy Hayward	Goods for Sale	-52.50
02052022	02/05/2022	Wendy Hayward	Goods sold on consignment - WH Print	52.50
EFT30068	05/05/2022	Science and Nature Pty Ltd	Goods for sale	-962.12
162310	21/02/2022	Science and Nature Pty Ltd	Assorted Finger Puppets, Large Figurines Small Figurines and Keychains, For Sale in Visitor Centre Shop, Credit note CR2382	826.82
162444	01/03/2022	Science and Nature Pty Ltd	Assorted Finger Puppets, Large Figurines Small Figurines and Keychains, For Sale in Visitor Centre Shop	135.30
EFT30069	05/05/2022	Consulting Great Southern (Mark Weller)	Consulting	-4371.40
INV-0811	31/03/2022	Consulting Great Southern (Mark Weller)	Assistance with specification clarification - Playground	495.00
INV-0812	31/03/2022	Consulting Great Southern (Mark Weller)	Project Management - Construction Phase	3876.40
EFT30070	05/05/2022	Designer Dirt	Goods for Sale	-455.00
2412	22/12/2021	Designer Dirt	20x Wren Garden Spikes & 10x Magpie Garden Spikes , For Sale in Visitor Centre Shop	455.00
EFT30071	05/05/2022	Redfish Technologies	SLA 233	-1826.00
IV00003903	29/04/2022	Redfish Technologies	AV systems at Sports Complex 01/07/22 - 01/07/23	1826.00
EFT30072	05/05/2022	Hodesh Pty Ltd trading as Instant Racking	Racking	-684.00
51972	11/04/2022	Hodesh Pty Ltd trading as Instant Racking	4 x beams for pallet racking, 4 x mesh for beams	684.00
EFT30073	05/05/2022	Lilly's Garden operated by Marina Murray	Goods For Sale	-424.00
55	12/04/2022	Lilly's Garden operated by Marina Murray	Assorted Relish, Pickles and Jams, For Sale in Visitor Centre Shop	424.00
EFT30074	05/05/2022	3E Advantage Pty Ltd	Printing	-2214.85
INV-62239-X7F1B2	29/04/2022	3E Advantage Pty Ltd	Printing charges 01/04/2022-30/04/2022 Admin Depot Springhaven	2214.85
EFT30075	05/05/2022	Country Water Solutions	Reticulation	-966.86
13563	06/04/2022	Country Water Solutions	Country Water Solutions: Retic Bits - 300 x 360 de poly micro spray on a stake. 200m 4mm dripper tubing. 200 x 4mm barbed joiners. 20 grey cut off risers.,	966.86
EFT30076	05/05/2022	SIRM24 PTY LTD	Airflow Maintenance	-850.00
INV-0157	29/03/2022	SIRM24 PTY LTD	Rangehoof Cleaning - Memorial Hall	850.00
EFT30077	05/05/2022	MCB Construction	Cancelled	0.00
IV-00965	04/03/2022	MCB Construction	Cancelled	0.00
EFT30078	05/05/2022	LGWA Local Government Works Association	Memberships	-299.97
2173	10/02/2022	LGWA Local Government Works Association	Local Government Works Association Membership Renewal,, Craig McVee, Richard McKenzie, Archie Michael	299.97
EFT30079	05/05/2022	Delwyn Lee Jenkins	REFUND OF BOND FOR HIRE OF SPORTS COMPLEX ON 2/05/22	-450.00
T176	03/05/2022	Delwyn Lee Jenkins	Complex Hire - Delwyn Haswell	450.00
EFT30080	05/05/2022	Light Application Pty Ltd	Kojonup Town Oval Lights	-8407.99
84958	29/03/2022	Light Application Pty Ltd	LightPIN Automated Control system with SMS and customised usage control as per Q16044	8407.99
EFT30081	05/05/2022	Oztrology Australian Greeting cards	Goods For Sale	-294.00
INV-000347	12/04/2022	Oztrology Australian Greeting cards	Assorted Oztrology Greeting Cards, For Sale in Visitor Centre Shop	294.00
EFT30082	09/05/2022	MCB Construction Pty Ltd	Construction	-330693.00
IV00965	04/03/2022	MCB Construction Pty Ltd	Public Protection, BCITF Levy, Concrete, Core drill holes for sleeves	330693.00
EFT30083	10/05/2022	Southwest Civil Services Pty Ltd	Harrison Place Amenities Upgrade	-25422.74
IV00000000108	29/03/2022	Southwest Civil Services Pty Ltd	Progress Claim 3 - Harrison place	25422.74

EFT30084	13/05/2022	Payroll Deductions - Shire of Kojonup	Payroll deductions	-1315.00
DEDUCTION	10/05/2022	Payroll Deductions - Shire of Kojonup	Payroll Deduction	915.00
DEDUCTION	10/05/2022	Payroll Deductions - Shire of Kojonup	Payroll Deduction	400.00
EFT30085	13/05/2022	Child Support Agency	Payroll deductions	-360.09
DEDUCTION	10/05/2022	Child Support Agency	Payroll Deduction	360.09
EFT30086	13/05/2022	Australian Services Union (LGO)	Payroll deductions	-51.80
DEDUCTION	10/05/2022	Australian Services Union (LGO)	Payroll Deduction	51.80
EFT30087	13/05/2022	Australian Services Union (MEU)	Payroll deductions	-71.70
DEDUCTION	10/05/2022	Australian Services Union (MEU)	Payroll Deduction	71.70
EFT30088	13/05/2022	EasiSalary	Payroll deductions	-2275.56
DEDUCTION	10/05/2022	EasiSalary	Payroll Deduction	1205.77
DEDUCTION	10/05/2022	EasiSalary	Payroll Deduction	1069.79
EFT30089	16/05/2022	Jodie Michael	Rates refund for assessment A20503 9 ELVERD ST KOJONUP 6395	-300.00
A20503	16/05/2022	Jodie Michael	Rates refund for assessment A20503 9 ELVERD ST, KOJONUP 6395	300.00
EFT30090	19/05/2022	MARINA JANE MURRAY	Reimbursement	-83.29
090522	09/05/2022	MARINA JANE MURRAY	Telephone and Internet Usage from 06/04/22 - 05/05/2022	83.29
EFT30091	19/05/2022	WALGA (Western Australian Local Government Association)	Training	-214.50
I3092976	28/04/2022	WALGA (Western Australian Local Government Association)	Introduction to Townplanning for RSAdmin,	214.50
EFT30092	19/05/2022	Kojonup Golf Club	Contribution	-8500.00
61	06/05/2022	Kojonup Golf Club	Contribution for Club house repairs	8500.00
EFT30093	19/05/2022	Hi-Way Sales & Service	Engineering Supplies	-716.47
233732	31/03/2022	Hi-Way Sales & Service	ULP, Husqvarna air filter cover, B77 Pin, B6 Pins, Husky Y inlet pipe, 800 3/8, 1 T280-0611, 1 T281-0611, Fit parts, 2 Keys & Tags Harrison Toilets, ULP 17.19L, 3 Brass Fittings, ULP 20L, Complex key cut x1	512.77
234559	05/04/2022	Hi-Way Sales & Service	Steel irrigation case to cover solenoid vavles - Sports Complex	203.70
EFT30094	19/05/2022	Carony Pty Ltd	March 2022 Account	-2508.03
03-081854	28/03/2022	Carony Pty Ltd	1 x pallent of cement - Kojonup Frankland Road	1292.40
03-082001	01/04/2022	Carony Pty Ltd	Liquid Nails, W/Plug PVC Green	40.50
03-082014	01/04/2022	Carony Pty Ltd	Accent Int L/Sheen White 1L	34.00
01-220613	04/04/2022	Carony Pty Ltd	15L Bitumen Seal Paint for Rose Maze Sleepers	136.15
03-082152	04/04/2022	Carony Pty Ltd	28 Katanning Road - Wash 'n Wear L/Sheen White Paint - 1 Lt	41.65
01-220669	04/04/2022	Carony Pty Ltd	Tree Tie Roll 40M	29.10
04-375334	05/04/2022	Carony Pty Ltd	WA Tree Festival - Rainbow Cardboard	14.90
03-082242	06/04/2022	Carony Pty Ltd	WA Tree Festival - Different Size Pots and Saucers	43.05
01-220808	07/04/2022	Carony Pty Ltd	WA Tree Festival - Glue x4	11.80
03-082327	08/04/2022	Carony Pty Ltd	Hardi Flex Eaves Lining 1800x900	29.00
03-082401	11/04/2022	Carony Pty Ltd	Seed & Cutting Mix. Rooting Gel 50ml	33.19
01-220997	11/04/2022	Carony Pty Ltd	15L Bitumen Seal Paint for Rose Maze Sleepers	202.75
01-221004	11/04/2022	Carony Pty Ltd	39 Vanzuilecom Street - Gas bottle replacement - Short term lease	191.00
01-220990	11/04/2022	Carony Pty Ltd	2x Tarp 2.4m x 3m	19.40
04-376034	11/04/2022	Carony Pty Ltd	WA Tree Festival Supplies For Event	99.35
04-376144	11/04/2022	Carony Pty Ltd	Hallmark Cards	5.99
01-221125	12/04/2022	Carony Pty Ltd	Screw SDM 12GX35 Seal B8 SP10	6.80
03-082511	13/04/2022	Carony Pty Ltd	Invoice - 03-082511 - Tomcat Rodenticide Blox	60.00
03-082512	13/04/2022	Carony Pty Ltd	Invoice - 03-082512 - Lane Passage lever set	86.15
03-082845	21/04/2022	Carony Pty Ltd	Antex Granules - Boscabel Cemetery	18.50
08-012848	26/04/2022	Carony Pty Ltd	Admin Newspapers	30.60
03-083125	27/04/2022	Carony Pty Ltd	Orbit Plastic 2 Outlet	15.95
01-221843	28/04/2022	Carony Pty Ltd	1.2kg Rodent Bait Blocks	65.80
EFT30095	19/05/2022	Telstra	Telecommunications	-574.00
T311 APR22	25/04/2022	Telstra	iPad/Mobile charges for CEO 25/04/22 - 24/05/22, iPad charges for Kodja Place 25/04/22 - 24/05/22, iPad charges for MCCS 25/04/22 - 24/05/22, iPad/tablet charges for Springhaven 25/04/22 - 24/05/22, Mobile charges for MWS 25/04/22 - 24/05/22, Twig Tone Devices 25/04/22 - 24/05/22, Standpipe controller on Stock Rd 25/04/22 - 24/05/22	574.00
EFT30096	19/05/2022	Katanning Glazing & Security	Glazing and Security	-17772.00

18686	04/04/2022	Katanning Glazing & Security	Katanning Road number 26 - Security Windows and Door Screens, Katanning Road number 28 - Security Windows and Door Screens	17772.00
EFT30097	19/05/2022	Synergy	Electricity	-5282.94
2069508423	02/05/2022	Synergy	a/c392675750 for Powerwatch 01/04/22 - 30/04/22	163.31
2001556985	03/05/2022	Synergy	a/c542221630 for Murdup Fire station 31 Piesse St 11/02/22 - 28/04/22	178.71
2025527997	05/05/2022	Synergy	a/c 862761710 for Footy Oval Lights Blackwood Rd 02/03/22 - 04/05/22	605.24
2017534696	09/05/2022	Synergy	a/c339632390 fo 8C Newton St 04/03/22 - 06/05/22	109.79
2001561266	09/05/2022	Synergy	a/c386279970 for Netball Courts Blackwood Rd 01/03/22 - 04/05/22	159.50
2037521319	09/05/2022	Synergy	a/c356438440 for EV Charging Station 143 Albany Hwy 04/03/22 - 06/05/22	746.86
2017534693	09/05/2022	Synergy	a/c338398910 for 12B Elverd St 04/03/22 - 06/05/22	277.07
2013535643	09/05/2022	Synergy	a/c338398720 for 12A Elverd St 04/03/22 - 06/05/22	350.81
2049524825	11/05/2022	Synergy	a/c145682100 for 34 Katanning Rd 06/03/22 - 05/05/22	160.91
2009535720	11/05/2022	Synergy	a/c354238990 for 8B Newton St 09/03/22 - 05/05/22	98.53
2097495920	11/05/2022	Synergy	a/c955462010 for 32 Katanning Rd 06/03/22 - 05/05/22	369.42
2013538248	11/05/2022	Synergy	a/c361072390 for 39 Vanzuilecom St 09/03/22 - 05/05/22	195.89
2045518909	11/05/2022	Synergy	a/c269776860 for 8 Soldier Rd 06/03/22 - 05/05/22, a/c269776860 for 8 Soldier Rd 06/03/22 - 05/05/22 ILU's	1655.14
2093512306	11/05/2022	Synergy	a/c250826500 for 10 Bagg St 06/03/22 - 05/05/22	211.76
EFT30098	19/05/2022	BK Thomson Electrical Service	Electrical Services	-3346.91
2175	21/04/2022	BK Thomson Electrical Service	Sports complex. Due to repeated vandalism permanently remove bollard on west side of patio ramp entrance and make electrics safe.	321.00
2174	21/04/2022	BK Thomson Electrical Service	Provide electrical services Harrison Place toilets	2538.97
2167	21/04/2022	BK Thomson Electrical Service	Replace blown RCD, Investigate u/s data connection Records office	486.94
EFT30099	19/05/2022	Kojonup Auto Electrical Services	Auto Electrics	-1610.25
6295	22/04/2022	Kojonup Auto Electrical Services	air con repairs KO571	1172.20
6330	26/04/2022	Kojonup Auto Electrical Services	plug repair KO163	348.60
6731	05/05/2022	Kojonup Auto Electrical Services	Check Fault KO8661	89.45
EFT30100	19/05/2022	Kojonup Supermarket	Groceries	-105.89
APR 2022	30/04/2022	Kojonup Supermarket	a/c 617 for Admin, a/c 617 for Admin, a/c 617 for Depot, a/c 617 for Depot	105.89
EFT30101	19/05/2022	Kojonup Country Kitchen	Catering	-188.63
2862	03/05/2022	Kojonup Country Kitchen	Catering - 3 May 2022 - Briefing Session	188.63
EFT30102	19/05/2022	Egabva Plumbing & Gas Service	Plumbing	-544.50
2210	19/04/2022	Egabva Plumbing & Gas Service	Annual Servicing of RPZD's at Springhaven, Annual Servicing of RPZD's - Standpipes at Katanning-Kojonup Road, Annual Servicing of RPZD's - Sport Complex Water Service, Fire Service, Grease Trap, Annual Servicing of Boundary RPZD's at Springhaven	297.00
4077	20/04/2022	Egabva Plumbing & Gas Service	Egabva - Unblock Toilet - Apex Park	247.50
EFT30103	19/05/2022	Yabco-Swat Insect Control	Pest Control	-723.80
33	23/03/2022	Yabco-Swat Insect Control	26 Katanning Road - Full interior/exterior Shed, fence, paving, 28 Katanning Road - Full interior/exterior Shed, fence, paving, 30 Katanning Road - Full interior/exterior Shed, fence, paving, 15 Loton Close- Bait stations in roof	723.80
EFT30104	19/05/2022	Wurth Australia Pty Ltd	Workshop Supplies	-129.25
4320048000	27/04/2022	Wurth Australia Pty Ltd	assorted sprays, tapes, absorbtion mats	129.25
EFT30105	19/05/2022	Winc Australia Pty Ltd	Office Furniture	-1150.31
9039072566	27/04/2022	Winc Australia Pty Ltd	Monitor for FO	268.26
9039071265	27/04/2022	Winc Australia Pty Ltd	Staples	75.92
10177585	27/04/2022	Winc Australia Pty Ltd	1 x Rapid Corner workstation, 1 x rapid line mobile pedestal	737.75
9039082426	28/04/2022	Winc Australia Pty Ltd	Monitor riser	68.38
EFT30106	19/05/2022	Synergy - Street Lights	Electricity	-5429.67
2041513717	02/05/2022	Synergy - Street Lights	a/c131337630 for 289 streetlights 25/03/22 - 24/04/22	5429.67
EFT30107	19/05/2022	Local Government Professionals Australia WA	Advertising	-165.00

32538	05/05/2022	Local Government Professionals Australia WA	Works Supervisor vacancy closing 19 May 2022 - Local Government Vacancies (approx. 12 May 2022)	165.00
EFT30108	19/05/2022	Baileys Fertilizers	Fertiliser	-924.00
29856	04/05/2022	Baileys Fertilizers	Gypsum 100 x 20Kg Bags = 1 Ton, 3.1.1 Granulated Fertiliser 10 x 20Kg Bags, 3.1.1 Granulated Fertiliser 10 x 20Kg Bags, 3.1.1 Granulated Fertiliser 10 x 20Kg Bags, 3.1.1 Granulated Fertiliser 10 x 20Kg Bags	924.00
EFT30109	19/05/2022	Toll Transport	Freight	-11.01
0284-80774145	01/05/2022	Toll Transport	from Westrac on 28/04/22	11.01
EFT30110	19/05/2022	Sunny Signs	Signage	-22.39
474587	04/03/2022	Sunny Signs	Rural Road Number Plate for 143 Wanwindup Rd	22.39
EFT30111	19/05/2022	SW Benn & Co - (Proandra Flowers)	Goods for Sale	-236.00
47	02/05/2022	SW Benn & Co - (Proandra Flowers)	20x Chicken Scents and 20x Owl Scents, For Sale in Visitor Centre Shop	236.00
EFT30112	19/05/2022	Warren Blackwood Waste	Waste and Recycling	-20724.63
18019	06/05/2022	Warren Blackwood Waste	Apex Park & Kojonup Tourist Railway Lift Bins	200.00
18044	07/05/2022	Warren Blackwood Waste	KJP Transfer Station Management	6419.84
18045	07/05/2022	Warren Blackwood Waste	240Lt Bins Pick Up, KJP St Bins Pick Up, 240Lt Recycling Bins Pick Up, KJP Service Townsite area Bins	14104.79
EFT30113	19/05/2022	Public Transport Authority	Bus Fares	-17.99
MAR 2022	31/03/2022	Public Transport Authority	Fares values for March 2022	109.96
APR 2022	30/04/2022	Public Transport Authority	Fares values for April 2022	47.45
EFT30114	19/05/2022	BEST OFFICE SYSTEMS	Printer Repairs	-184.09
601520	27/04/2022	BEST OFFICE SYSTEMS	Kodja Place Konica Minolta C250i Photocopier Charges, Period 20/03/2022 - 20/04/2022	85.09
602020	09/05/2022	BEST OFFICE SYSTEMS	Print outs have red toner along top of page. part ordered and replaced	99.00
EFT30115	19/05/2022	KOJONUP TENNIS CLUB INC.	Contribution	-8500.00
2	06/05/2022	KOJONUP TENNIS CLUB INC.	Contribution for Club house repairs	8500.00
EFT30116	19/05/2022	ABCO Products	Cleaning Products	-538.29
INV794105	29/04/2022	ABCO Products	300G Glen 20 Original Scent Aerosol Code#170096	538.29
EFT30117	19/05/2022	LANDGATE	Rural UV's chargeable	-70.40
374253	27/04/2022	LANDGATE	Minimum charge 19/02/2022 - 01/04/2022 SCHE:R2022/2	70.40
EFT30118	19/05/2022	LYNNE CHAMBERS	Bulbs	-339.00
10052022	10/05/2022	LYNNE CHAMBERS	bulb order. 50x mixed triumph \$85.00 1 x cottage garden collection \$33.00 , 1x gardeners dream \$105.00 1 x colour sensation \$105.00 plus \$11.00 postage.	339.00
EFT30119	19/05/2022	ST LUKE'S FAMILY PRACTICE	Medical	-325.00
189665	01/07/2021	ST LUKE'S FAMILY PRACTICE	Flu Vaccination for Robert Balloch	25.00
189662	01/07/2021	ST LUKE'S FAMILY PRACTICE	Flu Vaccination for Jason Gibbons	25.00
189658	01/07/2021	ST LUKE'S FAMILY PRACTICE	Flu Vaccination for Susan Miotti	25.00
189655	01/07/2021	ST LUKE'S FAMILY PRACTICE	Flu Vaccination for Michelle Jorgensen	25.00
189653	01/07/2021	ST LUKE'S FAMILY PRACTICE	Flu Vaccination for Sandra Cowie	25.00
189648	01/07/2021	ST LUKE'S FAMILY PRACTICE	Flu Vaccination for Gerald Alizer	25.00
189643	01/07/2021	ST LUKE'S FAMILY PRACTICE	Flu Vaccination for Robert Arnold	25.00
189666	01/07/2021	ST LUKE'S FAMILY PRACTICE	Flu Vaccination for Robert Jehu	25.00
189651	01/07/2021	ST LUKE'S FAMILY PRACTICE	Flu Vaccination for Kristel Thompson	25.00
189644	01/07/2021	ST LUKE'S FAMILY PRACTICE	Flu Vaccination for Vivicka Kahn	25.00
189650	01/07/2021	ST LUKE'S FAMILY PRACTICE	Flu Vaccination for Anthony Middleton	25.00

189663	01/07/2021	ST LUKE'S FAMILY PRACTICE	Flu Vaccination for Veronica Fleay	25.00
189664	01/07/2021	ST LUKE'S FAMILY PRACTICE	Flu Vaccination for Shane Chambers	25.00
EFT30120	19/05/2022	Hope Contractors	Yard Maintenance	-264.00
1840	08/02/2022	Hope Contractors	Tidy up garden/lawn. 15 Loton cl(CEO house)	88.00
1920	20/04/2022	Hope Contractors	Tidy up garden/lawn. 15 Loton cl(CEO house)	88.00
1947	06/05/2022	Hope Contractors	Tidy up garden/lawn. 15 Loton cl(CEO house)	88.00
EFT30121	19/05/2022	Nadine Milne (Tulip & Rose)	Wreath	-85.00
KP290422	29/04/2022	Nadine Milne (Tulip & Rose)	Kodja Place ANZAC Day Wreath	85.00
EFT30122	19/05/2022	The Cott Family Trust t/a Oiltech Fuel	Diesel	-25717.52
20751	29/04/2022	The Cott Family Trust t/a Oiltech Fuel	Supply of 7337 @ 169.9cpl on 29/04/2022	13712.12
20862	11/05/2022	The Cott Family Trust t/a Oiltech Fuel	Supply of 6000 @ 181.9cpl on 11/05/2022	12005.40
EFT30123	19/05/2022	Marketforce	Advertising	-1272.00
43380	27/04/2022	Marketforce	Grader/Plant Operator and All Rounder/Plant Operator advertisement - West Australian - 02 April 2022	824.56
43379	27/04/2022	Marketforce	Grader/Plant Operator and All Rounder/Plant Operator advertisement - Great Southern Herald - 7 April 2022	447.44
EFT30124	19/05/2022	Ramped Technology & Management Systems Pty Ltd	IT Support	-572.00
INV-4299	30/04/2022	Ramped Technology & Management Systems Pty Ltd	Technician Assistance from 08/04/22 - 29/04/22	572.00
EFT30125	19/05/2022	Boral Construction Material Group Ltd	Bitumen Sealing	-61263.73
AWWPS00339-007	05/05/2022	Boral Construction Material Group Ltd	Spray & Spray Primer Seal C170/Cutter 98/2 @ 18000 L/shift - Broomehill Road, 36,000 litres, Spreader Truck Hire Price includes accomodation and LAFHA	61263.73
EFT30126	19/05/2022	ALBANY LOCK SERVICE	Lock Services	-92.20
27272	05/04/2022	ALBANY LOCK SERVICE	Replacement lock , Unit 3 . Front security door	92.20
EFT30127	19/05/2022	Department of Water and Environmental Regulations (DWER)	Annual Licence Fee	-324.80
W-L8735/2022/2023	06/05/2022	Department of Water and Environmental Regulations (DWER)	Annuual Licence Fee Kojonup Transfer Station	324.80
EFT30128	19/05/2022	Premier Smash Repairs	Vehicle Repairs	-500.00
16948	10/05/2022	Premier Smash Repairs	Insurance Excess for Holden Equinox KO662	500.00
EFT30129	19/05/2022	ANW Enterprises T/A Muddy Creek	Goods for Sale	-243.10
INV-10986	04/05/2022	ANW Enterprises T/A Muddy Creek	Assorted Wrapped Soaps, For Sale in Visitor Centre Shop	243.10
EFT30130	19/05/2022	Libra Enterprises (WA) Pty Ltd	Goods for Sale	-539.18
6411	14/03/2022	Libra Enterprises (WA) Pty Ltd	Assorted Blue Wren Figurines, Blue Wren Couple, 10x Dragonfly Brooch, and 10x Blue Wren Brooch, For Sale in Visitor Centre Shop	539.18
EFT30131	19/05/2022	Klopper Contracting T/A Ron Wright Bulldozing	Dozer Work	-10045.75
IV00000001844	05/05/2022	Klopper Contracting T/A Ron Wright Bulldozing	Grader and Dozer work - rehabilitaing Heggatons Pit - Shamrock Road	10045.75
EFT30132	19/05/2022	Catalyse Pty Ltd	Analytic Services	-12126.40
INV-1216	10/05/2022	Catalyse Pty Ltd	MARKYT Community Scorecard - Community Engagement Survey	12126.40
EFT30133	19/05/2022	Kojonup Childcare Centre	Water Service Charges	-612.68
INV-0022	30/04/2022	Kojonup Childcare Centre	a/c9007694368 INV40 Jul-Aug21, a/c9007694368 INV41 Sep-Oct21, a/c9007694368 INV42 Nov-Dec21, a/c9007694368 INV43 Jan-Feb22, a/c9007694368 INV44 Mar-Apr22	612.68
EFT30134	19/05/2022	Kojonup Concrete	Concrete	-1972.30
1459	12/05/2022	Kojonup Concrete	5 x cubes of concrete - Riverdale Road	1972.30
EFT30135	19/05/2022	Lilly's Garden operated by Marina Murray	Goods for Sale	-436.00
57-58	13/05/2022	Lilly's Garden operated by Marina Murray	Assorted Jams,Relish & Pickles, for Sale in Visitor Centre Shop	436.00

EFT30136	19/05/2022	Kojonup Sports Alliance Inc	Sports Event	-3999.79
100	06/05/2022	Kojonup Sports Alliance Inc	DJ for event, DJ accomodation, Security detail, Printing costs - advertising, Bar tickets, Over 18's wristbands	3999.79
EFT30137	19/05/2022	Southwest Civil Services Pty Ltd	26 Katanning Road	-3894.00
IV00000000094	01/04/2022	Southwest Civil Services Pty Ltd	Additional Block Work Unit 26 Raise Boundry wall and install Backers, extend to driveway walls to foothpath, install additional course to raise retaining wall	3894.00
EFT30138	19/05/2022	David White Landscape Architect	Architectural Services	-3300.00
DWLA-2204	29/04/2022	David White Landscape Architect	Illustrative Landscape Concept Plan for Kojonup BrookInclude details about proposed landscape features, furniture, finishes (paving and planting / grass) and access. Prepare an indicative plan for staging the works with detail about treatment types and areas. A preliminary costing for each stage would be included.	3300.00
EFT30139	19/05/2022	3E Advantage Pty Ltd	Printing	-122.10
INV-63051-L3W3M8	05/05/2022	3E Advantage Pty Ltd	Printing charges Jan 2022 - June 2022 Admin Depot Springhaven, Printing charges Jan 2021 - June 2022 Kodja Place	122.10
EFT30140	19/05/2022	Albany All Soils	Landscape Supplies	-1120.00
IV00000002707	10/05/2022	Albany All Soils	10m3 White Brickies Sand Delivered To Apex Park.	1120.00
EFT30141	19/05/2022	Tonya Pearce	Reimbursement	-446.00
120522	12/05/2022	Tonya Pearce	First Aid Allowance. Refer to EBA 13.5 Clause 17.4	446.00
EFT30142	19/05/2022	Joey Pajares	Reimbursement	-327.00
090522	09/05/2022	Joey Pajares	Pre Employment Drug Test, Pre Employment Medical, White Card & Audio Test	327.00
EFT30143	19/05/2022	Rosher	Purchase: Zero Turn Lawn Mower with Grass Catcher - Kubota 15HP	-12056.75
1442372	05/05/2022	Rosher	Purchase: Zero Turn Lawn Mower with Grass Catcher - Kubota 15HP, Admin Registration Fee - Kubota, Trade In: Z-Master 7000 Mower (KO1123)	12056.75
EFT30144	19/05/2022	PEP Building Improvements	Building Maintenance	-15638.00
2210	19/04/2022	PEP Building Improvements	Remedial brickwork to Town Memorial Hall	4840.00
2211	19/04/2022	PEP Building Improvements	Extend existing paving rear of house and connect to shed. Small limestone wall and footings., Prep driveway and spread cracker dust. Install letterbox. Wetlay lawn edge.	4919.00
2212	19/04/2022	PEP Building Improvements	Extend existing paving and connect to shed. Prep driveway and spread cracker dust, Install letterbox. Wetlay lawn edge.,	4950.00
2213	19/04/2022	PEP Building Improvements	Remedial paving to correct unfinished and unsuitable work at Springhaven,	429.00
2214	19/04/2022	PEP Building Improvements	Repair fence on North and West of Hockey oval to prevent hockey balls getting through	500.00
EFT30145	19/05/2022	Glenlossie Homestead T/A Colin Rourke	Goods for Sale	-220.00
11052022	11/05/2022	Glenlossie Homestead T/A Colin Rourke	50x Assorted Kojonup Gift Cards, For Sale in Visitor Centre Shop	220.00
EFT30146	20/05/2022	Wendy June Trethowan	Photographics	-40.00
20052022	20/05/2022	Wendy June Trethowan	Photograph of Dawn Norrish OAM for Reception Room/ Council Chambers wall, as requested by members of Council	40.00
EFT30147	20/05/2022	Healthcare Australia WA Pty Ltd T/A Workforce XS	Agency Staff	-6842.88
437103	18/05/2022	Healthcare Australia WA Pty Ltd T/A Workforce XS	Agency staff x 2 for 6 nightshifts	6842.88
EFT30148	26/05/2022	Payroll Deductions - Shire of Kojonup	Payroll deductions	-1385.00
DEDUCTION	24/05/2022	Payroll Deductions - Shire of Kojonup	Payroll Deduction	985.00
DEDUCTION	24/05/2022	Payroll Deductions - Shire of Kojonup	Payroll Deduction	400.00
EFT30149	26/05/2022	Child Support Agency	Payroll deductions	-307.98
DEDUCTION	24/05/2022	Child Support Agency	Payroll Deduction	307.98
EFT30150	26/05/2022	Australian Services Union (LGO)	Payroll deductions	-51.80
DEDUCTION	24/05/2022	Australian Services Union (LGO)	Payroll Deduction	51.80
EFT30151	26/05/2022	Australian Services Union (MEU)	Payroll deductions	-71.70

DEDUCTION	24/05/2022	Australian Services Union (MEU)	Payroll Deduction	71.70
EFT30152	26/05/2022	EasiSalary	Payroll deductions	-2275.56
DEDUCTION	24/05/2022	EasiSalary	Payroll Deduction	1205.77
DEDUCTION	24/05/2022	EasiSalary	Payroll Deduction	1069.79
				1014803.80

<u>Direct Deposits 1/05/22 - 31/05/22</u>				
Ref	Date	Name	Description	Amount
DD22742.2	29/05/2022	NAB	Credit Card Usage 19 February to 18 March 2022 MACS	-231.00
FEBMAR22	29/05/2022	NAB	Wound Innovations - online education for RN -,	231.00
DD22788.1	02/05/2022	NAB	Credit Card Usage 19 March to 19 April 2022 CEO	-5139.93
MAR/APR22	02/05/2022	NAB	Credit Card fees March-April 2022	19.50
MAR/APR22	02/05/2022	NAB	Dome Katanning -Appointment Great Southern Toyota,	9.85
MAR/APR22	02/05/2022	NAB	Shire of Kojonup - Plate change KO5 - prior to trade in,	30.50
MAR/APR22	02/05/2022	NAB	Online Jobs - Indeed,	89.19
MAR/APR22	02/05/2022	NAB	Crown Metropol - Meal for MCCS at LG Finance Professionals conference,	29.00
MAR/APR22	02/05/2022	NAB	Crown Metropol - Breakfast for MCCS at LG Finance Professionals conference,	10.12
MAR/APR22	02/05/2022	NAB	Novotel Vines - Accommodation for L Greeuw at Cemeteries conference,	398.00
MAR/APR22	02/05/2022	NAB	Trailblazers - Uniform MCCS,	401.00
MAR/APR22	02/05/2022	NAB	Nightingales Nursery - gifts for outgoing councillors,	384.05
MAR/APR22	02/05/2022	NAB	Bathroom Décor and Tiles - 6 Soap Holders and 2 towel rails - Playgroup,	235.60
MAR/APR22	02/05/2022	NAB	Shire of Kojonup - DOT transfer of Trailer to C Anderson,	21.65
MAR/APR22	02/05/2022	NAB	Williams Woolshed- Refreshment while Travel to Wandering Shire,	12.00
MAR/APR22	02/05/2022	NAB	Shire of Kojonup - DOT transfer of Trailer to SOK,	18.90
MAR/APR22	02/05/2022	NAB	Chemist Warehouse - masks and Hydralyte for staff - Covid outbreak,	307.86
MAR/APR22	02/05/2022	NAB	Spotlight - new linen,	780.10
MAR/APR22	02/05/2022	NAB	Senior Style - Mothers Day gifts for residents,	105.40
MAR/APR22	02/05/2022	NAB	Kojonup Bakery - 30 x dinner rolls D Harrison farewell,	24.00
MAR/APR22	02/05/2022	NAB	Seek Advertising - Works Supervisor Role,	346.50
MAR/APR22	02/05/2022	NAB	Perth Mint - Kojonup 150th Anniversary medallions for past presidents,	1120.00
MAR/APR22	02/05/2022	NAB	Kojonup IGA - Lolloies and Water - SLVROC,	77.26
MAR/APR22	02/05/2022	NAB	Seek Advertising - All Rounder / Plant Operator, , Seek Advertising - All Rounder / Plant Operator,	649.00
MAR/APR22	02/05/2022	NAB	Hillview Roadhouse - Meal - Customer /community member Simon House Re ; Alinta Electric Network Build,	28.95
MAR/APR22	02/05/2022	NAB	124 Deli - Dinner - Spark meeting,	11.00
MAR/APR22	02/05/2022	NAB	Shire of Kojonup - Plate change KOO007 to 1HKS364 - prior to trade in,	30.50
DD22797.3	01/05/2022	Toll Transport	Freight	-298.22
0282-80774145	17/04/2022	Toll Transport	from Asphalt in a bag on 01/04/22	298.22
DD22797.4	02/05/2022	Christie Leanne McVee	Goods for sale	-6.97
020522	02/05/2022	Christie Leanne McVee	Qdong earrings	6.97
DD22797.9	27/05/2022	Optus Billing Services Pty Ltd	Telecommunications	-268.01
259854631	13/05/2022	Optus Billing Services Pty Ltd	Optus Loop charges - Depot 13/02/22 - 12/03/22	268.01
DD22812.1	10/05/2022	Aware Super	Payroll deductions	-14492.82
SUPER	10/05/2022	Aware Super	Super	11591.91
SUPER	10/05/2022	Aware Super	Super	386.89
DEDUCTION	10/05/2022	Aware Super	Payroll Deduction	145.26
DEDUCTION	10/05/2022	Aware Super	Payroll Deduction	1610.51
DEDUCTION	10/05/2022	Aware Super	Payroll Deduction	93.47
DEDUCTION	10/05/2022	Aware Super	Payroll Deduction	583.00
DEDUCTION	10/05/2022	Aware Super	Payroll Deduction	81.78
DD22812.2	10/05/2022	Prime Super	Superannuation contributions	-1462.48
SUPER	10/05/2022	Prime Super	Super	1462.48
DD22812.3	10/05/2022	Hesta Superannuation	Superannuation contributions	-716.62
SUPER	10/05/2022	Hesta Superannuation	Super	716.62
DD22812.4	10/05/2022	ANZ Smart Choice Super	Superannuation contributions	-245.29
SUPER	10/05/2022	ANZ Smart Choice Super	Super	245.29
DD22812.5	10/05/2022	Fraser Coast Super Fund	Payroll deductions	-535.79

SUPER	10/05/2022	Fraser Coast Super Fund	Super	401.84
DEDUCTION	10/05/2022	Fraser Coast Super Fund	Payroll Deduction	133.95
DD22812.6	10/05/2022	Future Superannuation Group Pty Ltd	Superannuation contributions	-187.05
SUPER	10/05/2022	Future Superannuation Group Pty Ltd	Super	187.05
DD22812.7	10/05/2022	Australian Super Pty Ltd	Payroll deductions	-1960.40
SUPER	10/05/2022	Australian Super Pty Ltd	Super	1732.21
DEDUCTION	10/05/2022	Australian Super Pty Ltd	Payroll Deduction	228.19
DD22812.8	10/05/2022	HOSTPLUS	Superannuation contributions	-1459.92
DEDUCTION	10/05/2022	HOSTPLUS	Payroll Deduction	303.81
SUPER	10/05/2022	HOSTPLUS	Super	1156.11
DD22812.9	10/05/2022	SuperWrap Personal Super Plan	Superannuation contributions	-176.17
SUPER	10/05/2022	SuperWrap Personal Super Plan	Super	176.17
DD22832.1	23/05/2022	Ampol (Formerly Caltex Star Card)	April 2022 Ampol Fuel Card Usage	-2628.24
0108913943	23/05/2022	Ampol (Formerly Caltex Star Card)	Fuel card purchases, Fuel card purchases, Fuel card purchases, Fuel card purchases, Fuel card purchases, Fuel card purchases, Fuel card purchases, Fuel card purchases, Fuel card purchases, Fuel card purchases	2628.24
DD22834.1	23/05/2022	Motorcharge Limited (Puma)	April 2022 Puma Fuel Card Usage	-1857.88
89	23/05/2022	Motorcharge Limited (Puma)	April 2022 Puma Fuel Card Usage, April 2022 Puma Fuel Card Usage, April 2022 Puma Fuel Card Usage, April 2022 Puma Fuel Card Usage, April 2022 Puma Fuel Card Usage	1857.88
DD22836.1	24/05/2022	Aware Super	Payroll deductions	-15356.20
SUPER	24/05/2022	Aware Super	Super	12525.24
SUPER	24/05/2022	Aware Super	Super	322.67
DEDUCTION	24/05/2022	Aware Super	Payroll Deduction	139.08
DEDUCTION	24/05/2022	Aware Super	Payroll Deduction	1610.96
DEDUCTION	24/05/2022	Aware Super	Payroll Deduction	93.47
DEDUCTION	24/05/2022	Aware Super	Payroll Deduction	583.00
DEDUCTION	24/05/2022	Aware Super	Payroll Deduction	81.78
DD22836.2	24/05/2022	Prime Super	Superannuation contributions	-1351.24
SUPER	24/05/2022	Prime Super	Super	1351.24
DD22836.3	24/05/2022	Hesta Superannuation	Superannuation contributions	-698.74
SUPER	24/05/2022	Hesta Superannuation	Super	698.74
DD22836.4	24/05/2022	ANZ Smart Choice Super	Superannuation contributions	-191.41
SUPER	24/05/2022	ANZ Smart Choice Super	Super	191.41
DD22836.5	24/05/2022	Australian Catholic Superannuation & Retirement Fund Compliance	Superannuation contributions	-45.27
SUPER	24/05/2022	Australian Catholic Superannuation & Retirement Fund Compliance	Super	45.27
DD22836.6	24/05/2022	Fraser Coast Super Fund	Payroll deductions	-535.79
SUPER	24/05/2022	Fraser Coast Super Fund	Super	401.84
DEDUCTION	24/05/2022	Fraser Coast Super Fund	Payroll Deduction	133.95
DD22836.7	24/05/2022	Future Superannuation Group Pty Ltd	Superannuation contributions	-167.70
SUPER	24/05/2022	Future Superannuation Group Pty Ltd	Super	167.70
DD22836.8	24/05/2022	Australian Super Pty Ltd	Payroll deductions	-2048.20
SUPER	24/05/2022	Australian Super Pty Ltd	Super	1824.54
DEDUCTION	24/05/2022	Australian Super Pty Ltd	Payroll Deduction	223.66
DD22836.9	24/05/2022	HOSTPLUS	Superannuation contributions	-3157.50
DEDUCTION	24/05/2022	HOSTPLUS	Super	728.20
SUPER	24/05/2022	HOSTPLUS	Super	2429.30
DD22839.1	10/05/2022	Aware Super	Superannuation contributions	-47.59
SUPER	07/06/2022	Aware Super	Super	47.59
DD22844.1	10/05/2022	Aware Super	Superannuation contributions	-30.39
SUPER	24/05/2022	Aware Super	Super	30.39
DD22845.1	10/05/2022	Aware Super	Superannuation contributions	-68.15
SUPER	24/05/2022	Aware Super	Super	68.15
DD22846.1	31/05/2022	NAB	Credit Card Usage 20 April to 18 May 2022 MCCC	-3587.36
APRILMAY22	31/05/2022	NAB	Seek - Ad for Registered Nurse,	302.50

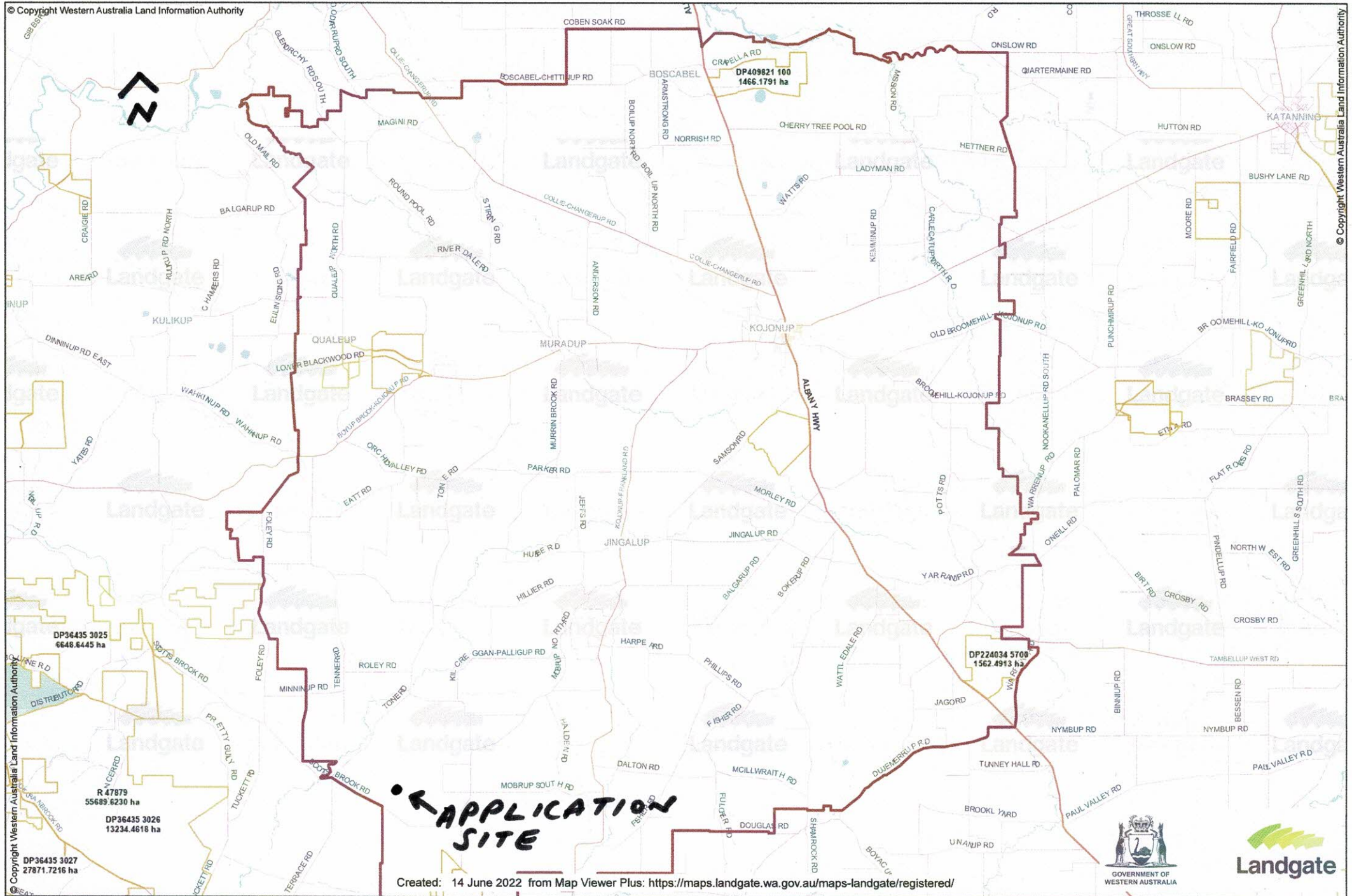
APRILMAY22	31/05/2022	NAB	BP Baldivis - Fuel for KO 784,	102.31
APRILMAY22	31/05/2022	NAB	Office Works - Privacy screen (laptop) for Finance Payroll/Officer,	82.95
APRILMAY22	31/05/2022	NAB	Plantagenet Bakery - Morning tea - welcome back CSO after Mat Leave,	25.00
APRILMAY22	31/05/2022	NAB	Online Jobs Ad,	78.62
APRILMAY22	31/05/2022	NAB	Shire of Kojonup - Registration of KO784 to bring into align with fleet,	47.05
APRILMAY22	31/05/2022	NAB	Shire of Kojonup -Plate change for KO10 to 1HKS370,	30.50
APRILMAY22	31/05/2022	NAB	Shire of Kojonup -Plate change for KO5,	18.30
APRILMAY22	31/05/2022	NAB	Shire of Kojonup -Plate changeKO11627 to KO16,	18.30
APRILMAY22	31/05/2022	NAB	BP Mt Barker,	138.62
APRILMAY22	31/05/2022	NAB	Kojonup Post Office - Recharge for Loton Close Units,	300.00
APRIL/MAY22	31/05/2022	NAB	Card Fees - 20April -18May 2022	19.50
APRILMAY22	31/05/2022	NAB	Big W - Books for Library,	235.00
APRILMAY22	31/05/2022	NAB	Big W - Tea Set - Play Cafe	20.00
APRILMAY22	31/05/2022	NAB	Due South - refreshments meeting Consulting Great Southern,	44.00
APRILMAY22	31/05/2022	NAB	Officeworks - Phone for KP Manager,	746.00
APRILMAY22	31/05/2022	NAB	Officeworks - Printer cartridges - swimming pool,	65.96
APRILMAY22	31/05/2022	NAB	Melbourne IT - Annual Subscription - Domain Host,	78.00
APRILMAY22	31/05/2022	NAB	Shire of Kojonup -Plate change Kubota 1HPJ176 to KO006,	18.30
APRILMAY22	02/05/2022	NAB	Survey Monkey	312.00
APRILMAY22	31/05/2022	NAB	Black Cockatoo Café - Meal while working at Kodja Place,	23.00
APRILMAY22	31/05/2022	NAB	Seek - Advert - Works Supervisor,	346.50
APRIL MAY 22	31/05/2022	NAB	Hillview Roadhouse - Fuel for 2KO,	187.53
APRILMAY22	31/05/2022	NAB	124 Deli - Dinner prior to Spark meeting,	19.50
APRILMAY22	31/05/2022	NAB	Dome - coffee prior to meeting,	9.85
APRILMAY22	31/05/2022	NAB	BigW Online - Books for Library,	204.00
APRILMAY22	31/05/2022	NAB	BP Walpole - Fuel KO784,	114.07
DD22846.2	30/05/2022	NAB	Credit Card Usage 20 April to 18 May 2022 MRS	-13.99
APRILMAY22	10/05/2022	NAB	Amazon Digital Services,	13.99
DD22812.10	10/05/2022	MTAA SUPERANNUATION FUND	Superannuation contributions	-110.82
SUPER	10/05/2022	MTAA SUPERANNUATION FUND	Super	110.82
DD22812.11	10/05/2022	REST SUPERANNUATION	Superannuation contributions	-487.73
SUPER	10/05/2022	REST SUPERANNUATION	Super	487.73
DD22812.12	10/05/2022	IOOF Superannuation	Superannuation contributions	-195.99
SUPER	10/05/2022	IOOF Superannuation	Super	195.99
DD22812.13	10/05/2022	Panorama Super	Superannuation contributions	-113.58
SUPER	10/05/2022	Panorama Super	Super	113.58
DD22812.14	10/05/2022	SunSuper Superannuation Fund	Superannuation contributions	-839.44
SUPER	10/05/2022	SunSuper Superannuation Fund	Super	839.44
DD22836.10	24/05/2022	REST SUPERANNUATION	Superannuation contributions	-700.10
DEDUCTION	24/05/2022	REST SUPERANNUATION	Payroll Deduction	57.38
SUPER	24/05/2022	REST SUPERANNUATION	Super	642.72
DD22836.11	24/05/2022	SuperWrap Personal Super Plan	Superannuation contributions	-176.17
SUPER	24/05/2022	SuperWrap Personal Super Plan	Super	176.17
DD22836.12	24/05/2022	MTAA SUPERANNUATION FUND	Superannuation contributions	-110.82
SUPER	24/05/2022	MTAA SUPERANNUATION FUND	Super	110.82
DD22836.13	24/05/2022	IOOF Superannuation	Superannuation contributions	-239.48
SUPER	24/05/2022	IOOF Superannuation	Super	239.48
DD22836.14	24/05/2022	Panorama Super	Superannuation contributions	-80.06
SUPER	24/05/2022	Panorama Super	Super	80.06
DD22836.15	24/05/2022	SunSuper Superannuation Fund	Superannuation contributions	-825.62
SUPER	24/05/2022	SunSuper Superannuation Fund	Super	825.62
FEES	04/05/2022	WESTNET	Westnet	-775.74
FEES	07/05/2022	MESSAGE MEDIA	Sms Messages	-649.44
FEES	31/05/2022	NAB	MISCELLANEOUS BANK CHARGES	-644.64
FEES	31/05/2022	2022	Centrelink Charge :	5.94
2415	12/05/2022	013B - PAYROLL CREDITORS MUN	PAYROLL CREDITORS MUN	-136775.11

2415	26/05/2022	013B - PAYROLL CREDITORS MUN	PAYROLL CREDITORS MUN	-142139.83
2415	27/05/2022	013B - PAYROLL CREDITORS MUN	PAYROLL CREDITORS MUN	-375.85
2415	30/05/2022	013B - PAYROLL CREDITORS MUN	PAYROLL CREDITORS MUN	-303.93
2415	30/05/2022	013B - PAYROLL CREDITORS MUN	PAYROLL CREDITORS MUN	-460.45
2415	02/05/2022	Trans Lice - TRANSPORT LICENCING (DEC) MUN	TRANSPORT LICENCING (DEC) MUN	-7209.35
2415	03/05/2022	Trans Lice - TRANSPORT LICENCING (DEC) MUN	TRANSPORT LICENCING (DEC) MUN	-3772.95
2415	04/05/2022	Trans Lice - TRANSPORT LICENCING (DEC) MUN	TRANSPORT LICENCING (DEC) MUN	-10328.95
2415	05/05/2022	Trans Lice - TRANSPORT LICENCING (DEC) MUN	TRANSPORT LICENCING (DEC) MUN	-2676.25
2415	06/05/2022	Trans Lice - TRANSPORT LICENCING (DEC) MUN	TRANSPORT LICENCING (DEC) MUN	-4133.90
2415	09/05/2022	Trans Lice - TRANSPORT LICENCING (DEC) MUN	TRANSPORT LICENCING (DEC) MUN	-1909.15
2415	10/05/2022	Trans Lice - TRANSPORT LICENCING (DEC) MUN	TRANSPORT LICENCING (DEC) MUN	-1467.40
2415	11/05/2022	Trans Lice - TRANSPORT LICENCING (DEC) MUN	TRANSPORT LICENCING (DEC) MUN	-3176.50
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				414,677.83

SUMMARY FOR MAY 2022	
Cheque 14335 - 14337	27,759.24
EFT 30025 - 30152	1,014,803.80
Direct Debits	414,677.83
Total	1,457,240.87

-- Map Viewer Plus --

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Landgate



17 May 2022

Shire of Kojonup
PO Box 163
KOJONUP WA 6395

Attention: Planning Department

Re: Lot 5, #4631 Scotts Brook Rd, Moberup WA

Please find attached a copy of the signed planning application form, certificate of title and plans to assess the application for the above mentioned lot.

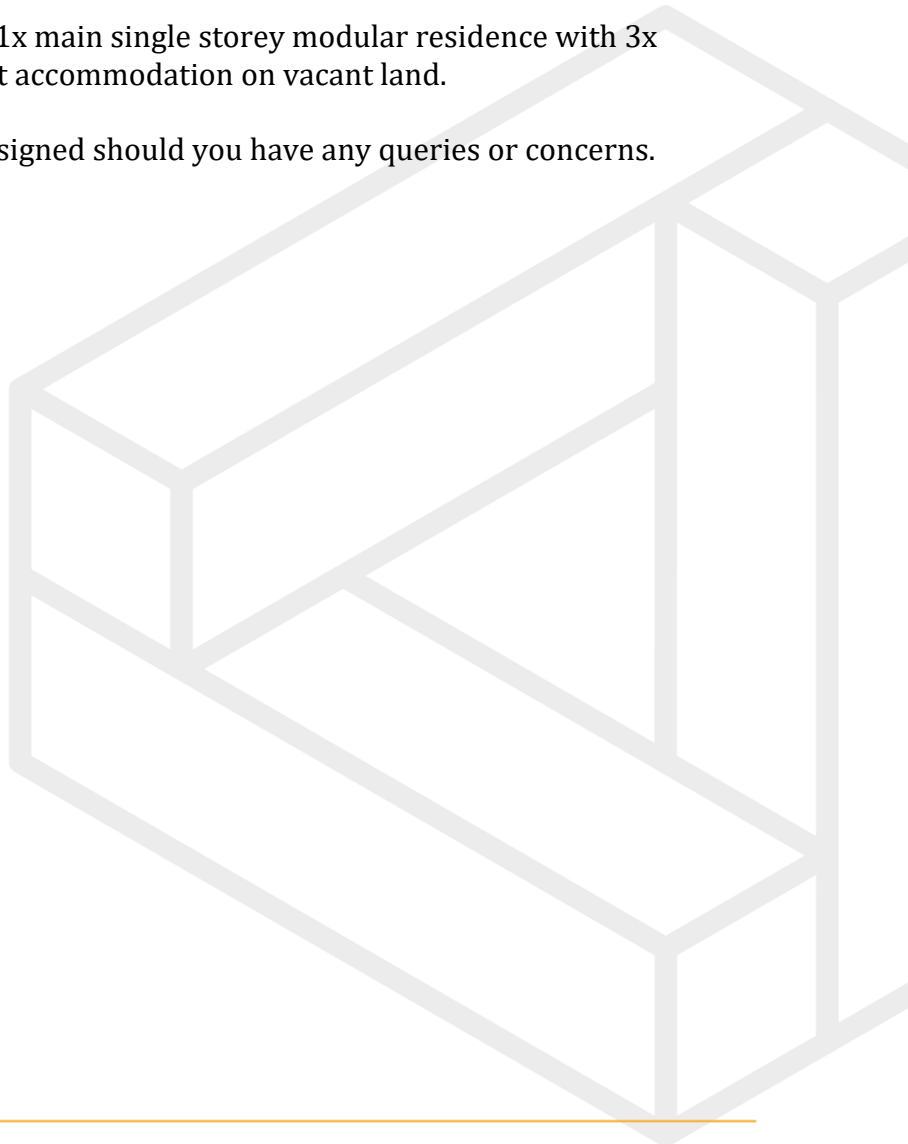
The proposed application is for 1x main single storey modular residence with 3x weekend/short stay holiday unit accommodation on vacant land.

Please feel free to call the undersigned should you have any queries or concerns.

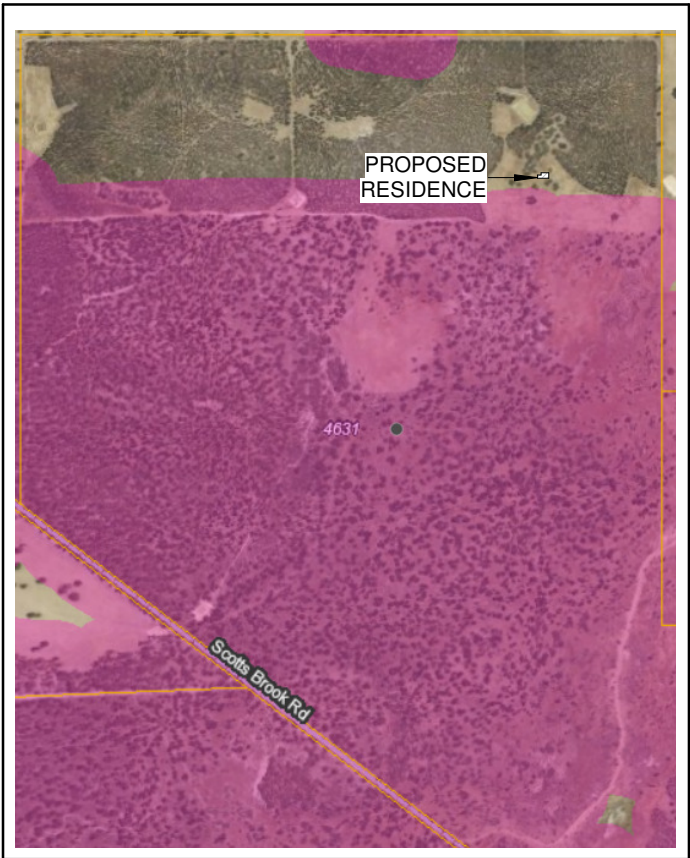
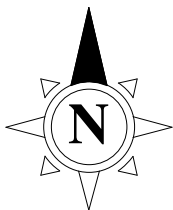
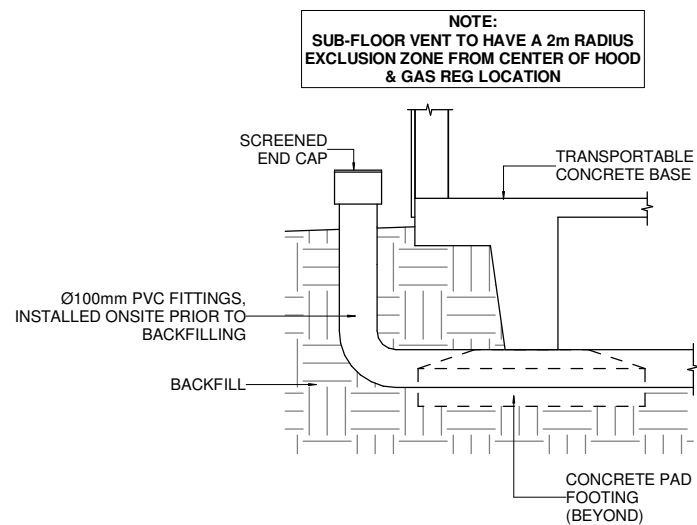
Yours faithfully
MODULAR WA

Fiona Ryan

CONTRACTS MANAGER



F.F.L - FINISHED FLOOR LEVEL
F.C.L - FINISHED CUT/COMPACT LEVEL
N.G.L - NATURAL GROUND LEVEL



1 LOCATION PLAN
A101 N.T.S.




2 SITE PLAN
A101 1 : 500

CLIENT:	GREEFF
ADDRESS:	LOT 5, #4631 SCOTTS BROOK ROAD MOBRUP WA 6395
HOUSE TYPE:	CUSTOM (5 MODULE)

Rev	Description	Date
A	Preparation of PPA Plans	26/11/2021
B	PPA Amendments (Per Client Changes)	06/12/2021
C	Prepare for working drawings	11/03/2022

JOB No.	21169
DATE:	11/03/2022 11:46:24 AM
DRAWN:	SS
CHECKED:	BT
REV:	SHEET
SCALE:	C
As indicated	A101



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- GENERAL NOTES:**
1. DO NOT SCALE FROM THIS DRAWING. ALL CONTRACTORS TO CHECK DIMENSIONS AND NOTES PRIOR TO COMMENCEMENT OF ANY WORKS AND ANY DISCREPANCIES TO BE NOTIFIED TO THE SITE SUPERVISOR WITHOUT DELAY.
2. DIMENSIONS SHOWN ON THIS PLAN ARE TO STEEL FRAME AND DOES NOT INCLUDE EXTERNAL CLADDING OR INTERNAL LINING WIDTH.
3. CONCRETE FLOOR FINISH TO BE AS SMOOTH AS POSSIBLE. CONCRETE FLOOR TO BE SEALED BY BUILDER (EXCL. TILED AREAS). FLOORING BY OWNER.

CLIENT NOTE:

THIS PLAN IS TO BE READ IN CONJUNCTION WITH MODULAR WA ADDENDA AND ENGINEERED CERTIFIED DRAWINGS.

CARPENTERS NOTE:

SILICONE BEAD REQUIRED AT BASE OF WALL FRAMES TO ALL TILED WET AREAS

INTERNAL OPENINGS:

DHO: FLUSHED DOOR HEIGHT OPENING 2040mm
A.F.L.
FHO: FULL HEIGHT OPENING

WINDOWS

WINDOW HEAD HEIGHT TO BE 2143mm A.F.L UNLESS NOTED OTHERWISE

ABBREVIATION LEGEND

HP	HOT PLATE
RH	RANGEHOOD
UBO	UNDERBENCH OVEN
OHC	OVERHEAD CUPBOARD
DR	DRAWER
FR/FZ REC	FRIDGE / FREEZER RECESS
DW REC	DISHWASHER RECESS
TR	TROUGH
WM REC	WASHING MACHINE RECESS
TRH	TOILET ROLL HOLDER
DTR	DOUBLE TOWEL RAIL
TRG	TOWEL RING
SR	SHOWER RAIL / ROSE
CAP	CEILING ACCESS PANEL
BRM	BROOM
V	VANITY
B	BASIN
OBS	OBSCURE
TF	TIMBER FRAME
AF	ALUMINIUM FRAME
SD	SLIDING DOOR
D	DOOR
W	WINDOW
AW	AWNING WINDOW
FW	FIXED WINDOW
COL	COLUMN
H/H	HEAD HEIGHT
RWP	RAIN WATER PIPE
SV	SUB-FLOOR VENT
(P)	PRIVACY LATCH

WATER FEED & CAB END
LOCATION
TO BE CONFIRMED

1 FLOOR PLAN
A102 1 : 100

BUILDING AREA	
BUILDING	265.36m ²
PORCH 1 (YARD BUILT)	6.44m ²
PORCH 2 (SITE BUILT)	9.22m ²
GARAGE / CARPORT	N/A
TOTAL	281.02m²

ROOF AREA	
ROOF (YARD BUILT)	277.93m ²
ROOF (SITE BUILT)	9.22m ²
TOTAL	287.15m²

CLIENT:	GREEFF
ADDRESS:	LOT 5, #4631 SCOTTS BROOK ROAD MOBRUP WA 6395
HOUSE TYPE:	CUSTOM (5 MODULE)

Rev	Description	Date
A	Preparation of PPA Plans	26/11/2021
B	PPA Amendments (Per Client Changes)	06/12/2021
C	Prepare for working drawings	11/03/2022

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SCALE:	A102 1 : 100



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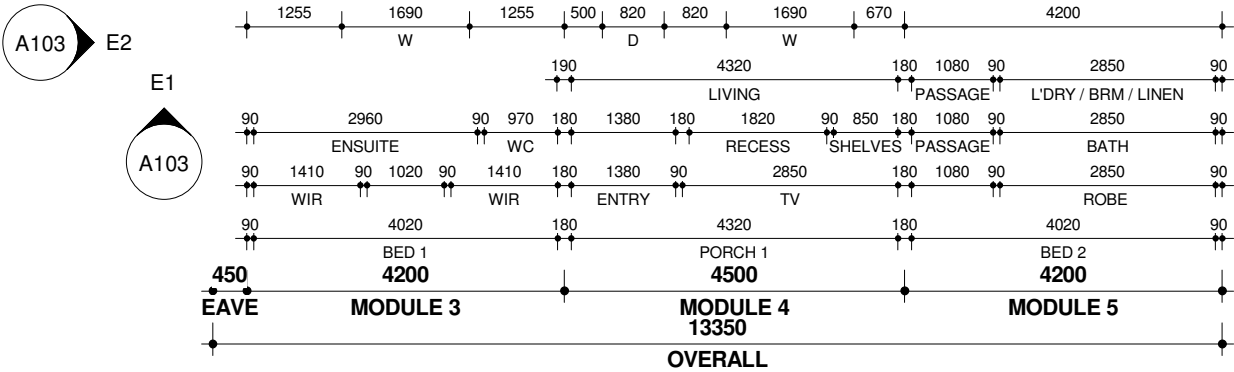
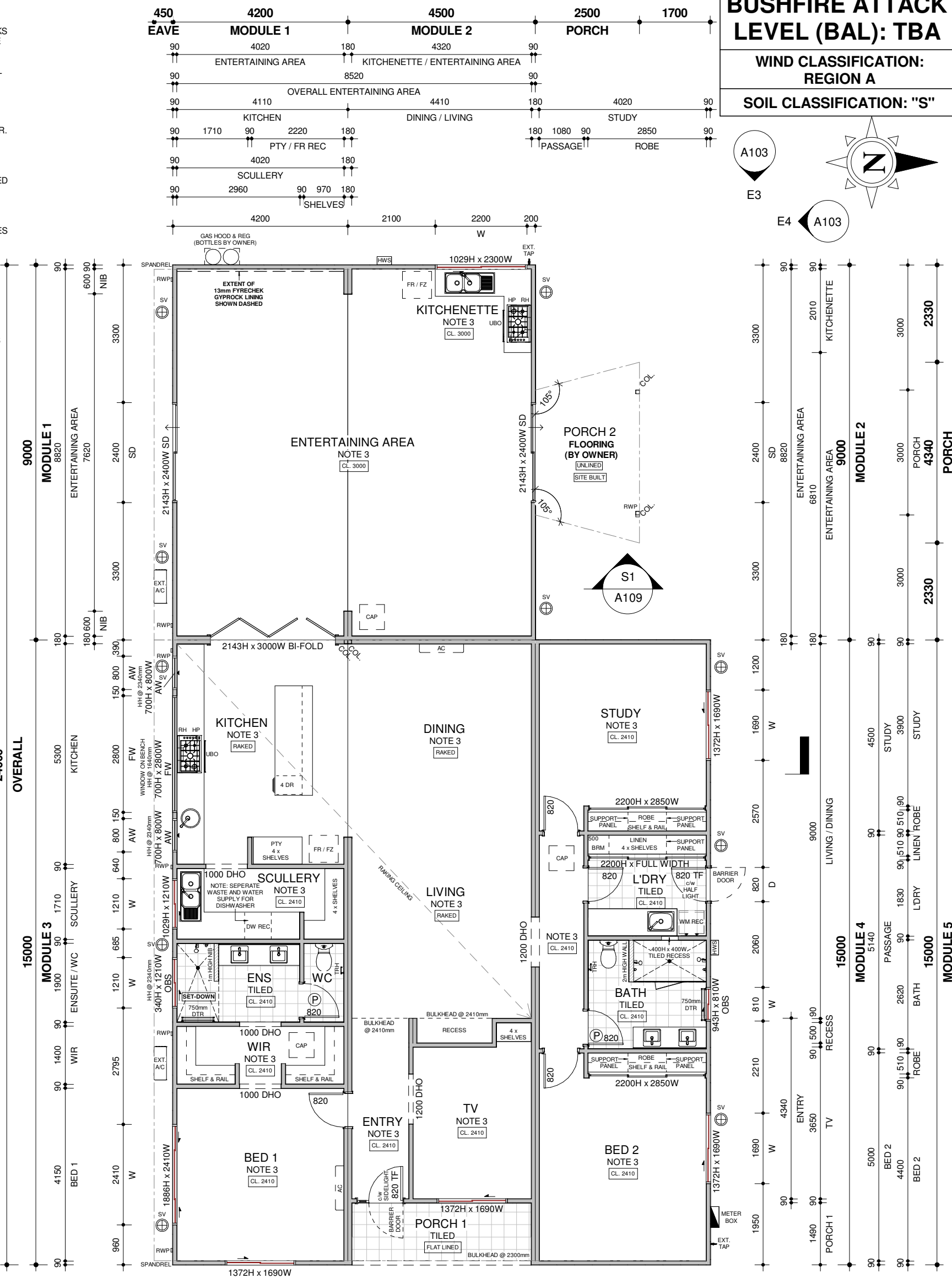
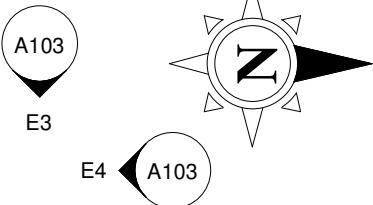
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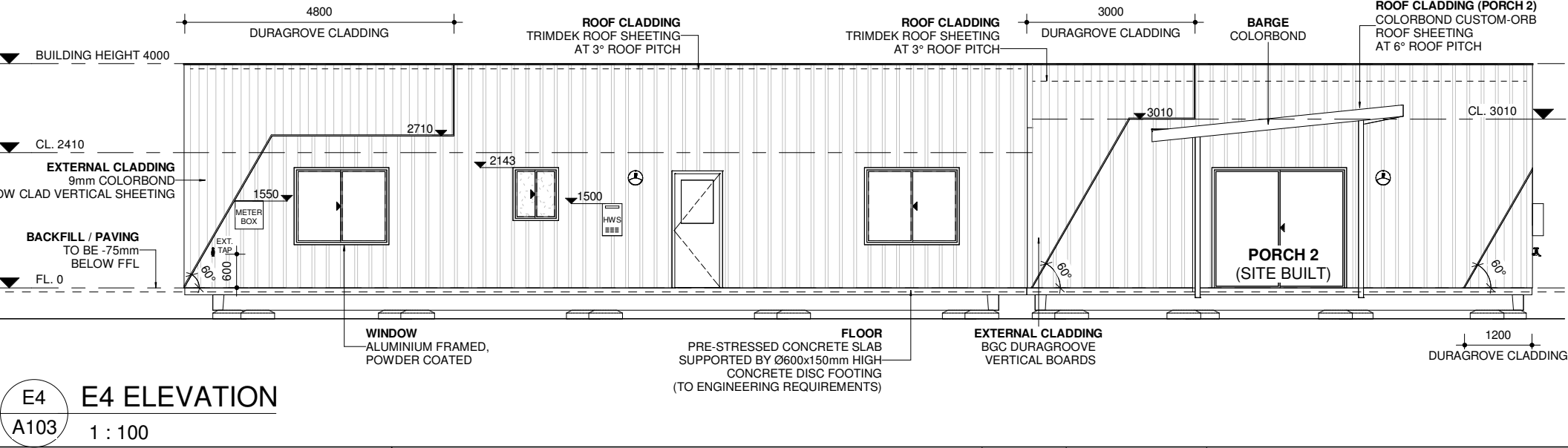
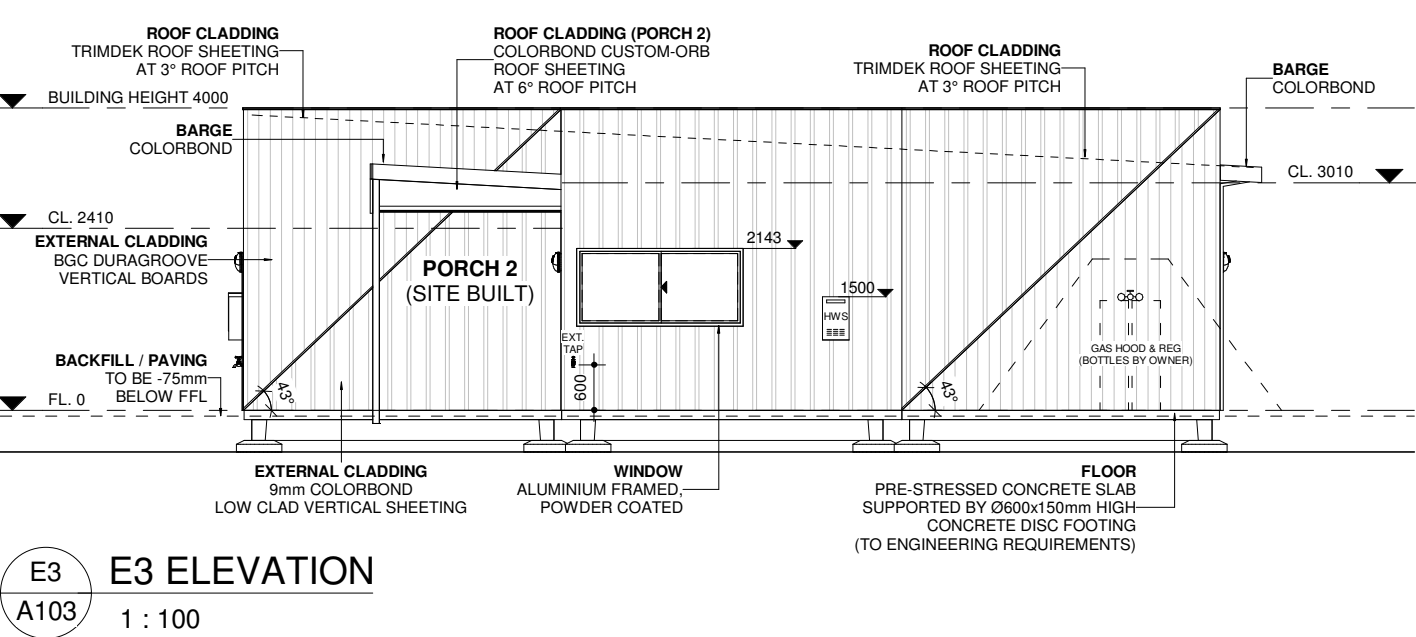
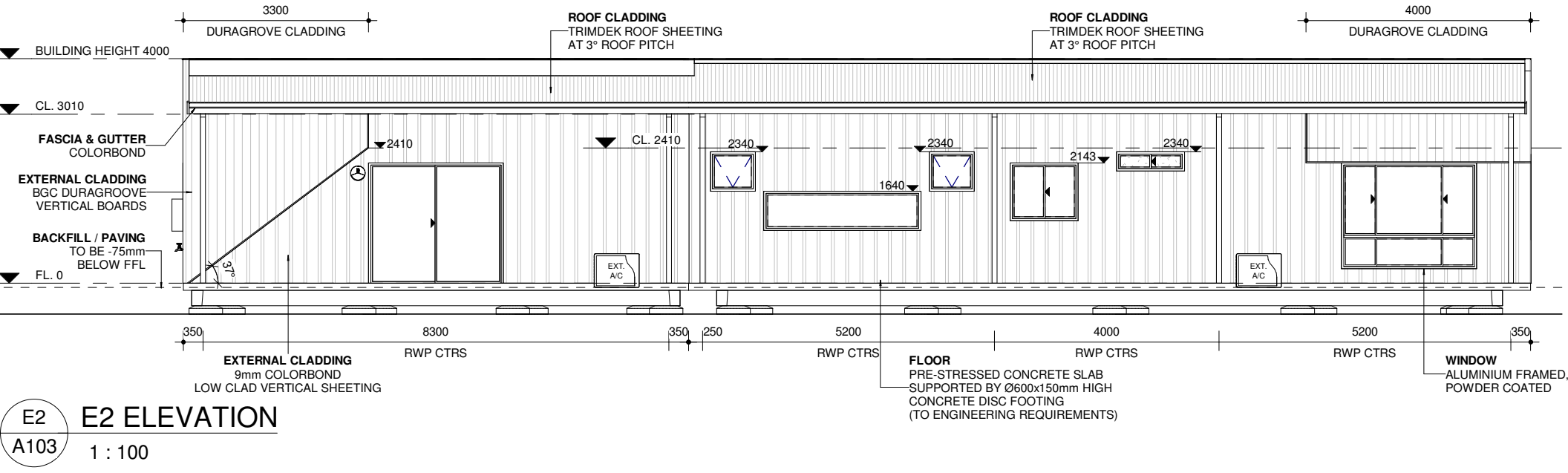
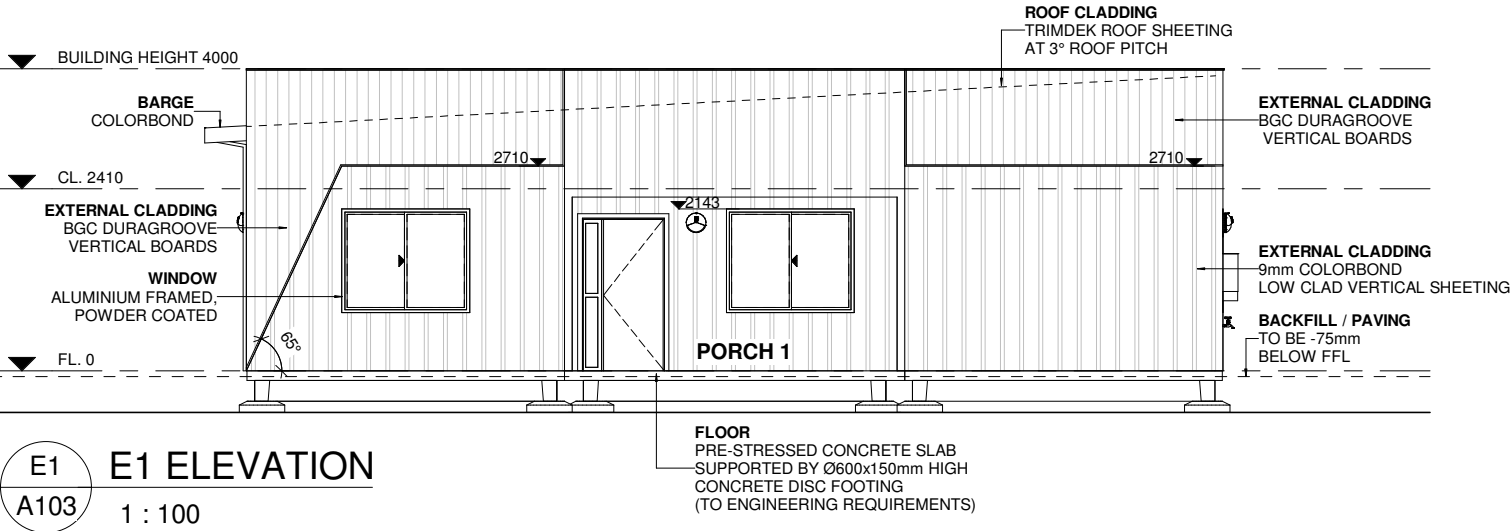
**BUSHFIRE ATTACK
LEVEL (BAL): TBA**

**WIND CLASSIFICATION:
REGION A**

SOIL CLASSIFICATION: "S"




BACKFILL
BY OWNER



CLIENT:	GREEFF
ADDRESS:	LOT 5, #4631 SCOTTS BROOK ROAD MOBRUP WA 6395
HOUSE TYPE:	CUSTOM (5 MODULE)

Rev	Description	Date
A	Preparation of PPA Plans	26/11/2021
B	PPA Amendments (Per Client Changes)	06/12/2021
C	Prepare for working drawings	11/03/2022

JOB No.	21169
DATE:	11/03/2022 11:46:28 AM
DRAWN:	SS
CHECKED:	BT
REV:	SHEET
SCALE:	C
1 : 100	A103



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ELECTRICAL LEGEND	
	CEILING LIGHT - L.E.D OYSTER FITTING
	CEILING LIGHT - L.E.D DOWNLIGHT FITTING
	CEILING LIGHT - L.E.D PENDANT FITTING
	EXTERNAL WALL LIGHT
	EXTERNAL WALL LIGHT - UP/DOWN
	EXTERNAL FLOOD LIGHT - WITH SENSOR
	L.E.D. SURFACE MOUNTED BATTEN
	MOTION SENSOR
	SINGLE GPO
	DOUBLE GPO
	QUAD GPO
	SINGLE WEATHERPROOF GPO
	DOUBLE WEATHERPROOF GPO
	ISOLATION SWITCH
	AIR CONDITIONER UNIT ISOLATOR
	PHONE / DATA OUTLET
	TV POINT
	LIGHT SWITCH
	HARDWIRED SMOKE DETECTOR c/w BATTERY BACKUP
	EXHAUST FAN FLUMED
	HEAT / LIGHT / FAN
	LIGHT / FAN
	CEILING FAN
	CEILING FAN c/w LIGHT
	METER BOX

ELECTRICAL NOTES:

1. ALL ELECTRICAL HEIGHTS ARE MEASURED FROM FINISHED FLOOR LEVEL
2. ALL LIGHT SWITCHES TO BE 1200mm ABOVE FINISHED FLOOR LEVEL UNLESS OTHERWISE NOTED
3. INTERNAL GENERAL POWER OUTLETS, PHONE & DATA POINTS TO BE 300mm ABOVE FINISHED FLOOR LEVEL UNLESS OTHERWISE NOTED
4. EXTERNAL GENERAL POWER OUTLETS AND EXTERNAL ISO SWITCH TO BE 1200mm ABOVE FINISHED FLOOR LEVEL UNLESS OTHERWISE NOTED
5. EXTERNAL LIGHT FITTINGS TO BE 1900mm ABOVE FINISHED FLOOR LEVEL - MEASURED TO UNDERSIDE OF FITTING
6. POWER TO DISHWASHER RECESS, ELECTRIC OVEN, RANGEHOOD, HOT PLATE, HOT WATER SYSTEM.

AIR CONDITIONING NOTE:

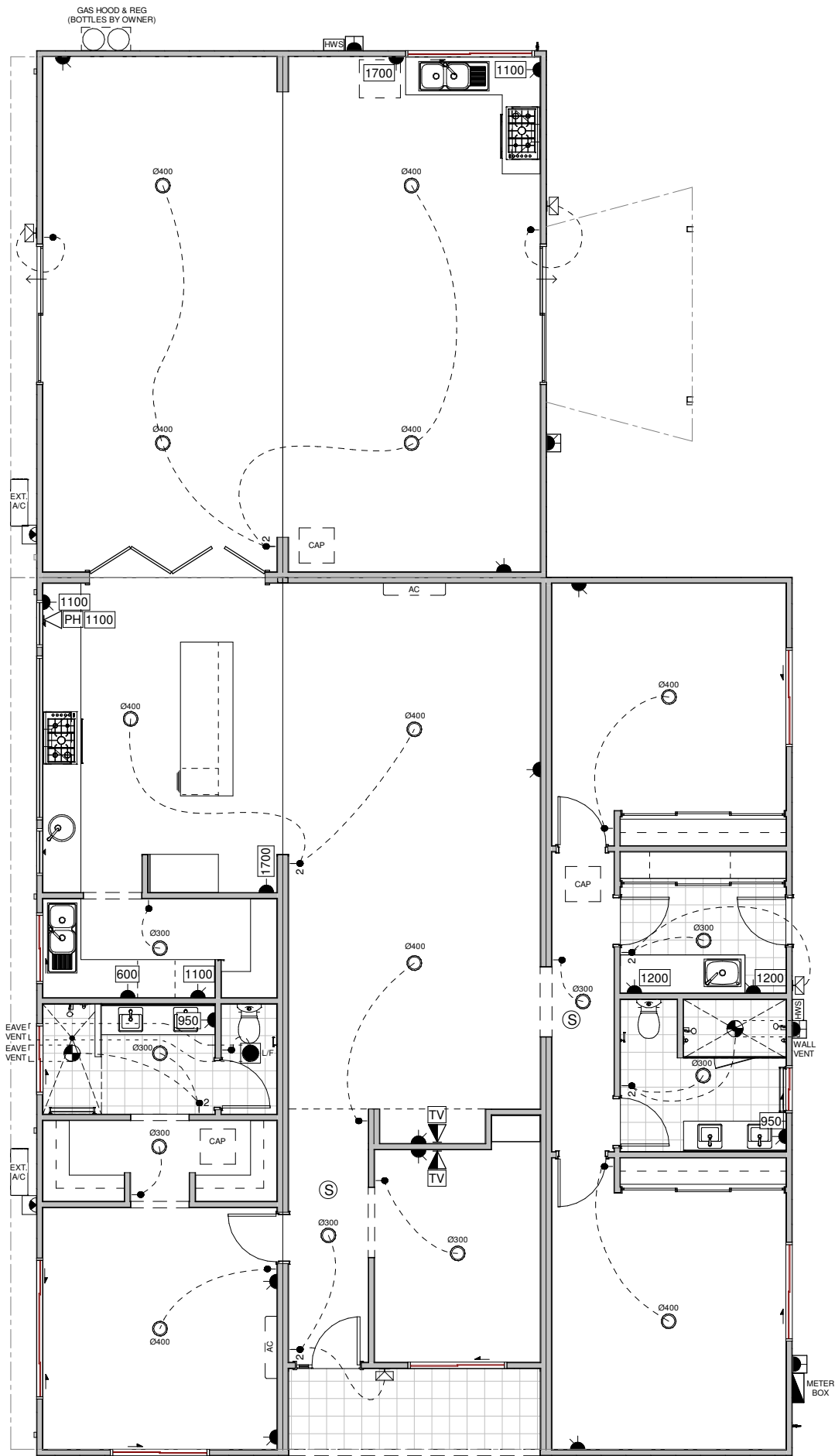
1. ALL EXTERNAL A/C BOOTS TO BE LOCATED MIN. 400mm ABOVE FFL.
2. FIRE BLANKET TO BE INSTALLED AROUND PIPES PRIOR TO INSTALLING ALL EXTERNAL A/C BOOTS.

1

A104

ELECTRICAL PLAN

1 : 100



CLIENT: GREEFF

ADDRESS: LOT 5, #4631 SCOTTS BROOK ROAD

MOBRUP WA 6395

HOUSE TYPE: CUSTOM (5 MODULE)

Rev	Description	Date
A	Preparation of PPA Plans	26/11/2021
B	PPA Amendments (Per Client Changes)	06/12/2021
C	Prepare for working drawings	11/03/2022

JOB No. 21169

DATE: 11/03/2022 11:46:30 AM

DRAWN: SS

CHECKED: BT

REV: SHEET

SCALE: 1 : 100

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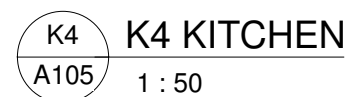
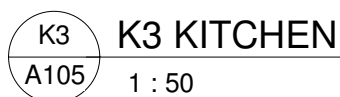
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A104

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DIMENSIONS MEASURED FROM INTERNAL WALL LINING

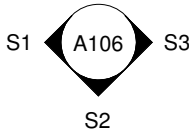
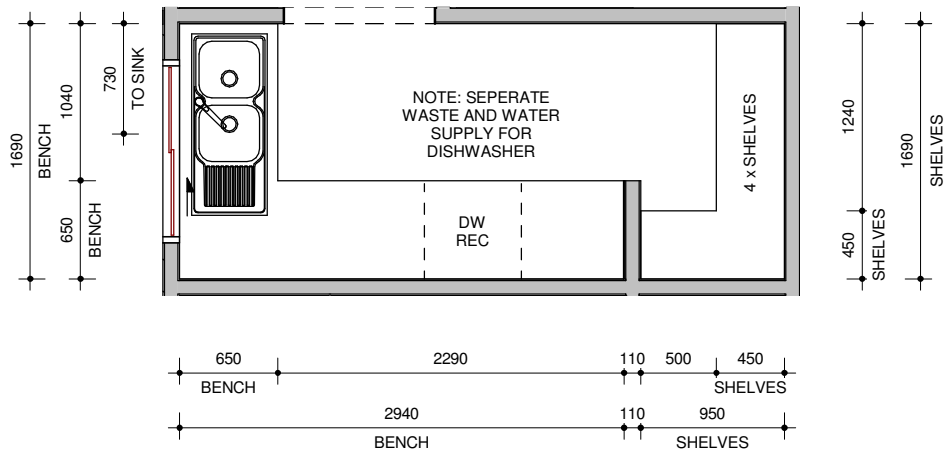


CLIENT:	GREEFF
ADDRESS:	LOT 5, #4631 SCOTTS BROOK ROAD MOBRUP WA 6395
HOUSE TYPE:	CUSTOM (5 MODULE)

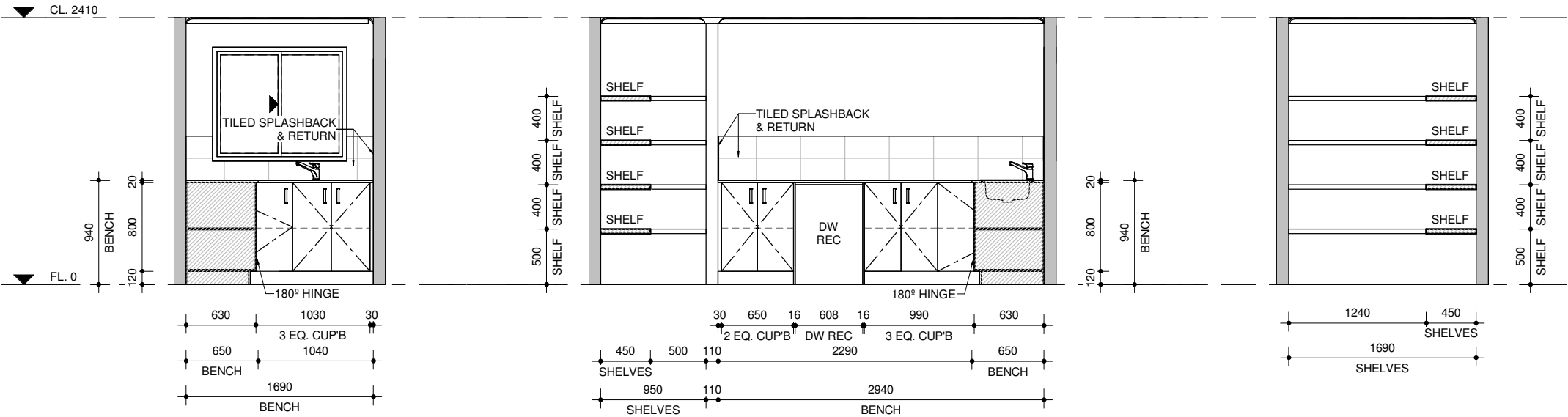
Rev	Description	Date
A	Preparation of PPA Plans	26/11/2021
B	PPA Amendments (Per Client Changes)	06/12/2021
C	Prepare for working drawings	11/03/2022

JOB No.	21169
DATE:	11/03/2022 11:46:31 AM
DRAWN:	WI
CHECKED:	BT
REV:	SHEET
C	A105
SCALE: As indicated	

NOTE:
DIMENSIONS MEASURED
FROM INTERNAL WALL LINING



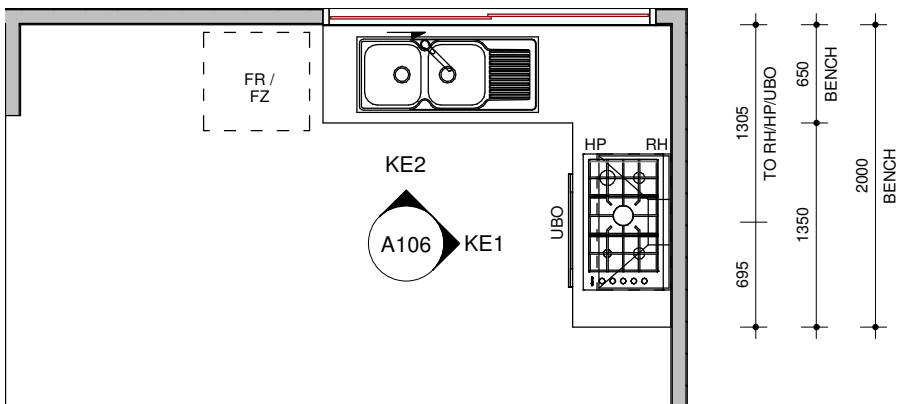
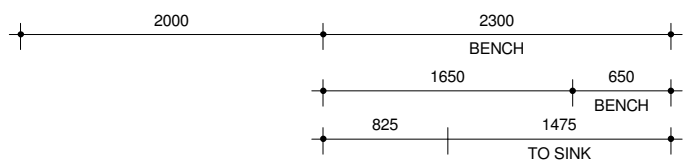
S SCULLERY LAYOUT
A106 1 : 50



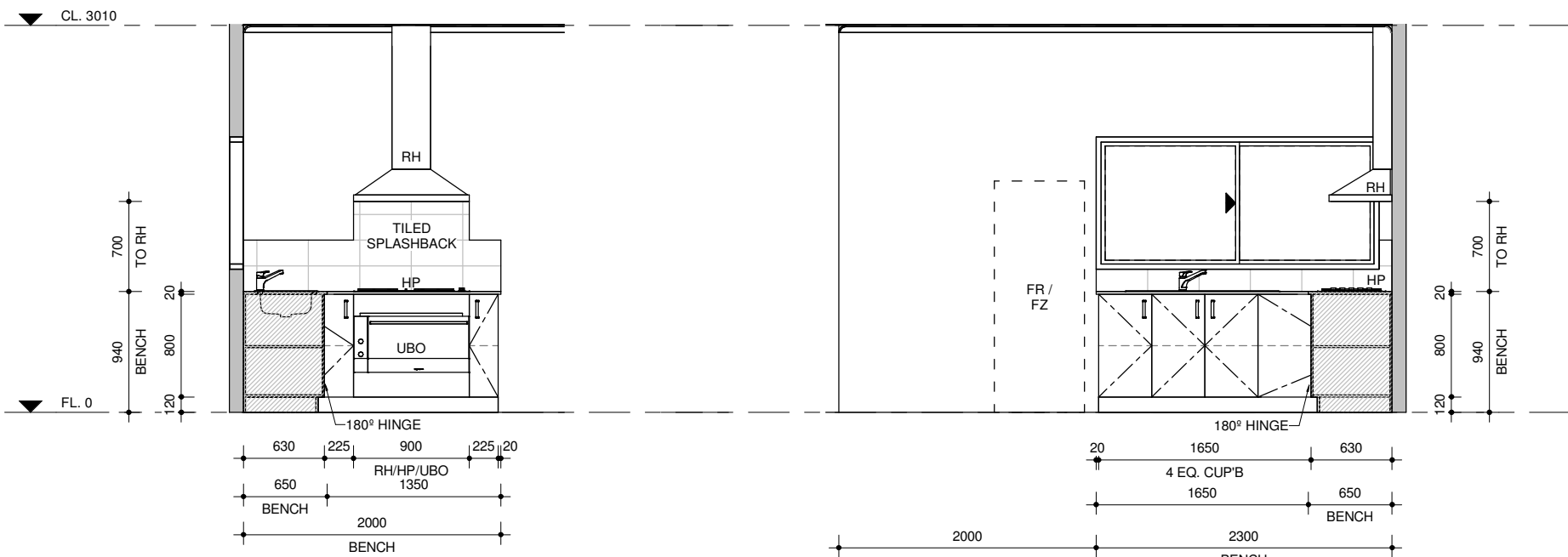
S1 SCULLERY
A106 1 : 50

S2 SCULLERY
A106 1 : 50

S3 SCULLERY
A106 1 : 50



KE KITTENETTE LAYOUT
A106 1 : 50



KE1 KITCHENETTE
A106 1 : 50

KE2 KITCHENETTE
A106 1 : 50

CLIENT: GREEFF

ADDRESS: LOT 5, #4631 SCOTTS BROOK ROAD

MOBRUP WA 6395

HOUSE TYPE: CUSTOM (5 MODULE)

Rev	Description	Date
A	Preparation of PPA Plans	26/11/2021
B	PPA Amendments (Per Client Changes)	06/12/2021
C	Prepare for working drawings	11/03/2022

JOB No. 21169

DATE: 11/03/2022 11:46:32 AM


DRAWN: WI

CHECKED: BT

REV: SHEET

SCALE: 1 : 50

A106

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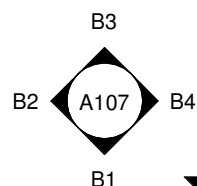
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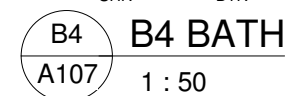
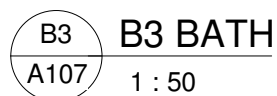
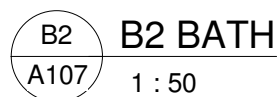
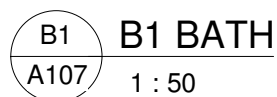
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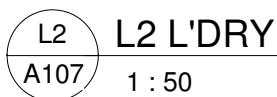
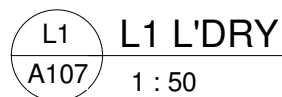
DIMENSIONS MEASURED FROM INTERNAL WALL LINING



BATH LAYOUT

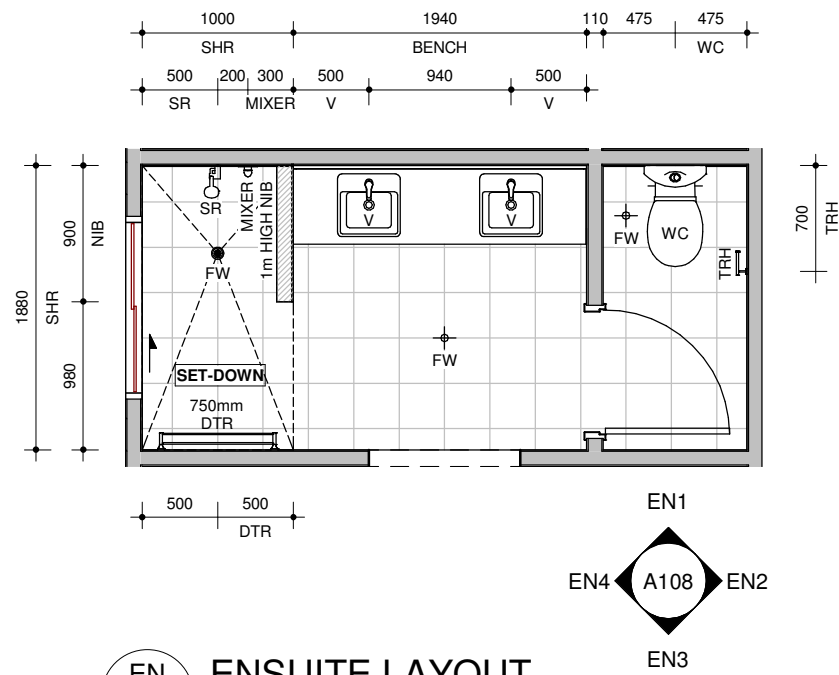


L L'DRY LAYOUT
A107 1 : 50

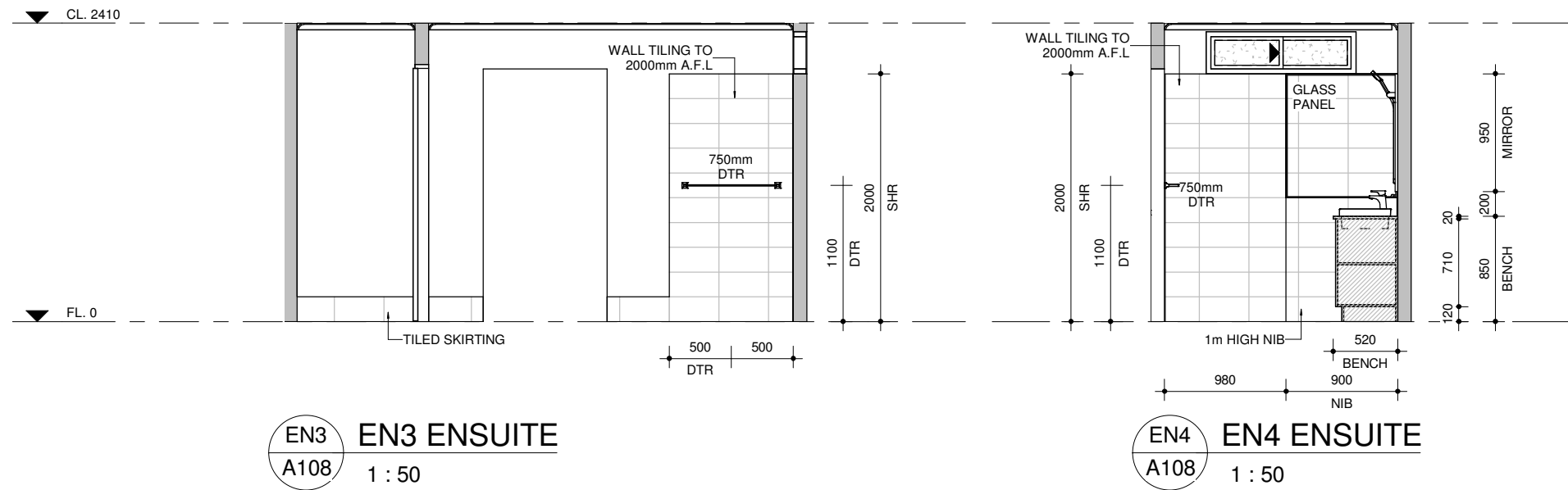
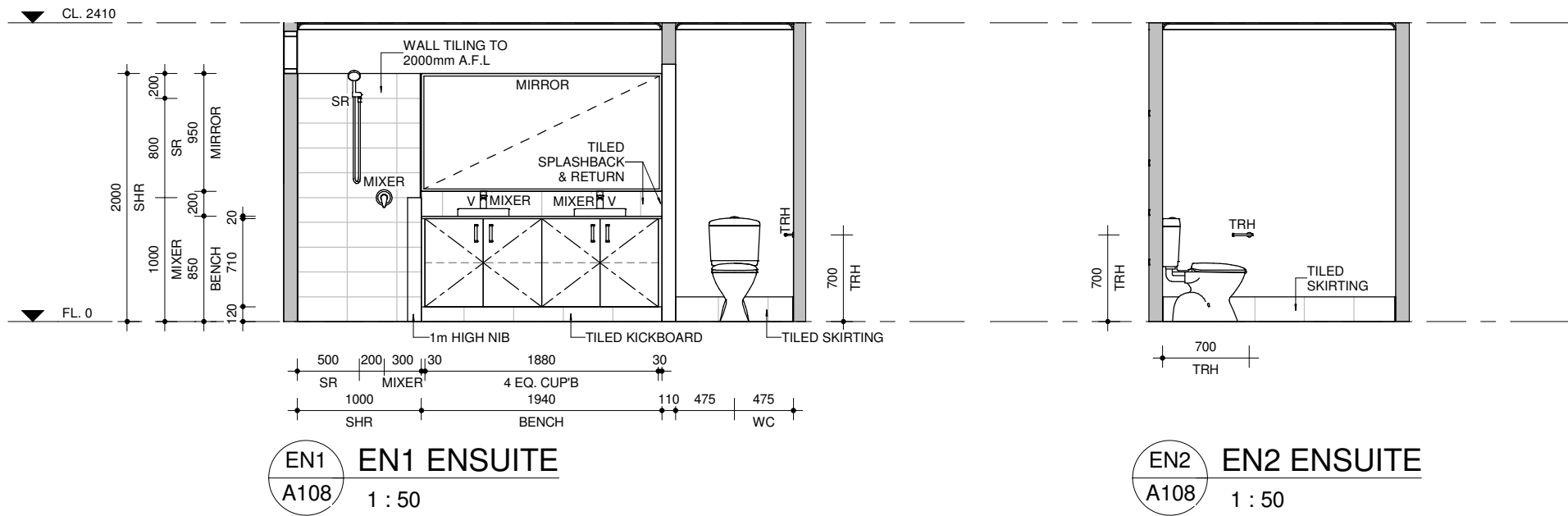


Rev	Description	Date
A	Preparation of PPA Plans	26/11/2021
B	PPA Amendments (Per Client Changes)	06/12/2021
C	Prepare for working drawings	11/03/2022

NOTE:
DIMENSIONS MEASURED
FROM INTERNAL WALL LINING



EN ENSUITE LAYOUT
A108 1 : 50



CLIENT: GREEFF

ADDRESS: LOT 5, #4631 SCOTTS BROOK ROAD
MOBRUP WA 6395

HOUSE TYPE: CUSTOM (5 MODULE)

Rev	Description	Date
A	Preparation of PPA Plans	26/11/2021
B	PPA Amendments (Per Client Changes)	06/12/2021
C	Prepare for working drawings	11/03/2022

JOB No. 21169

DATE: 11/03/2022 11:46:34 AM


DRAWN: WI

CHECKED: BT

REV: SHEET

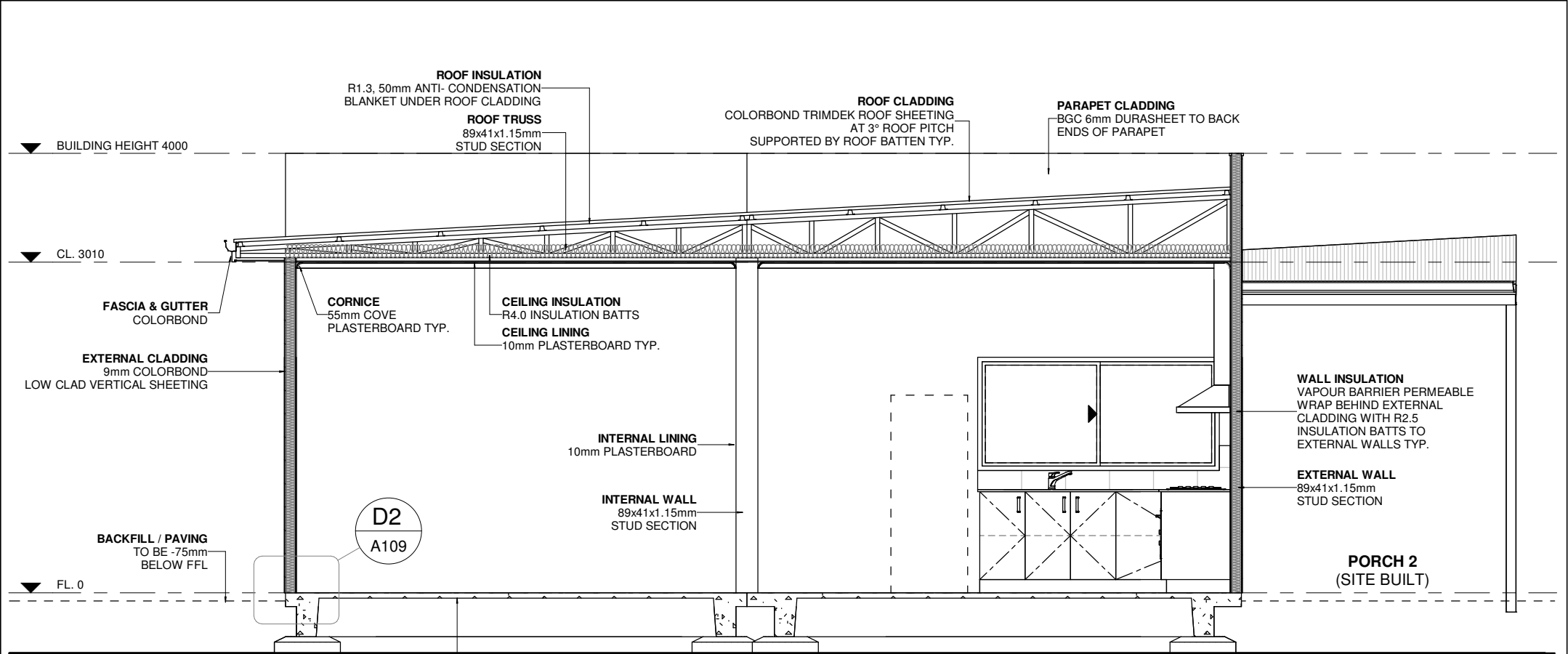
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1 : 50

A108

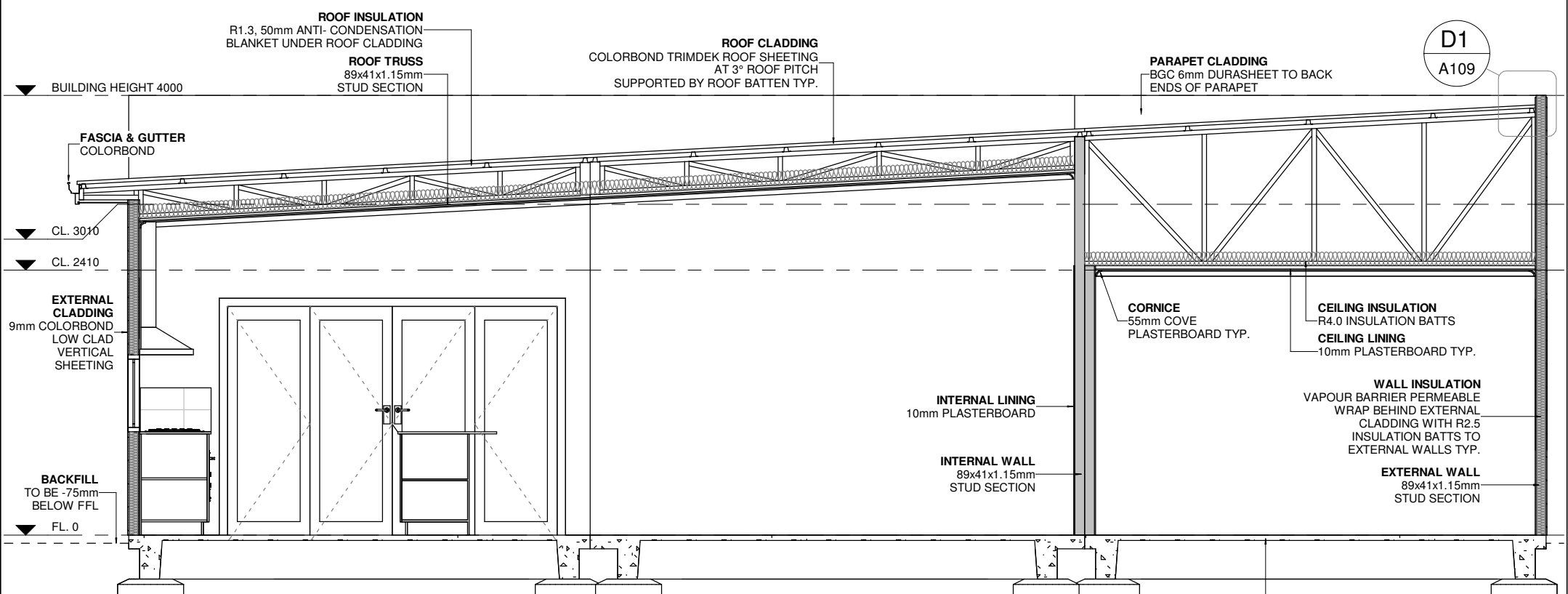


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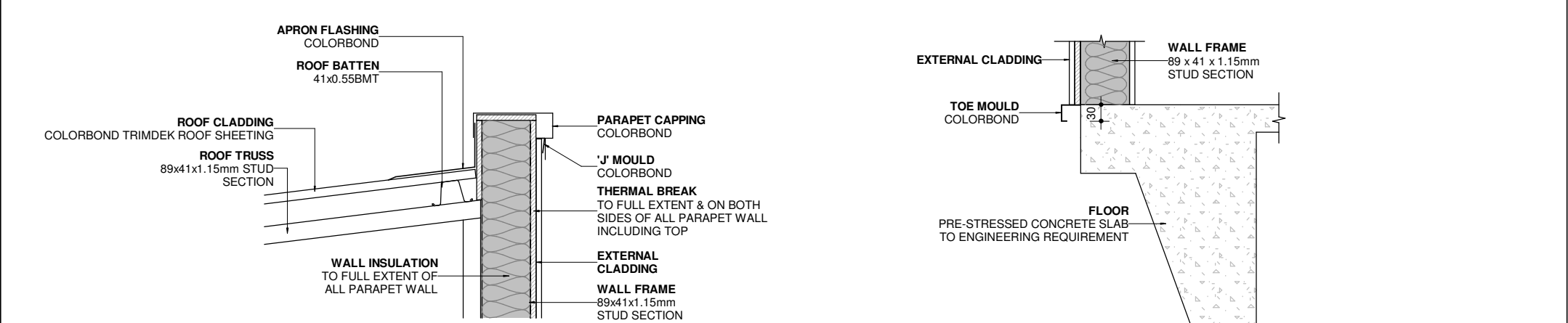
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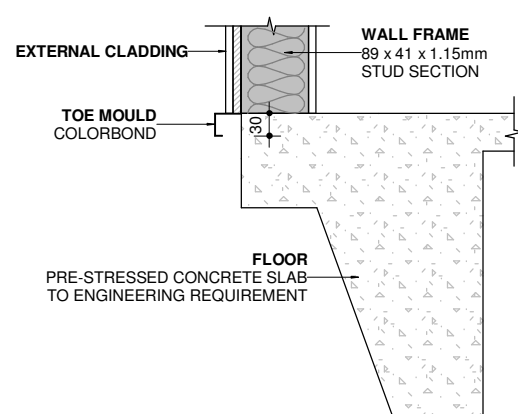
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A109 1 : 50




S2 BUILDING SECTION S2
A109 1 : 50



D1 PARAPET DETAIL
A109 1 : 10



D2 TOE MOULD DETAIL
A109 1 : 10

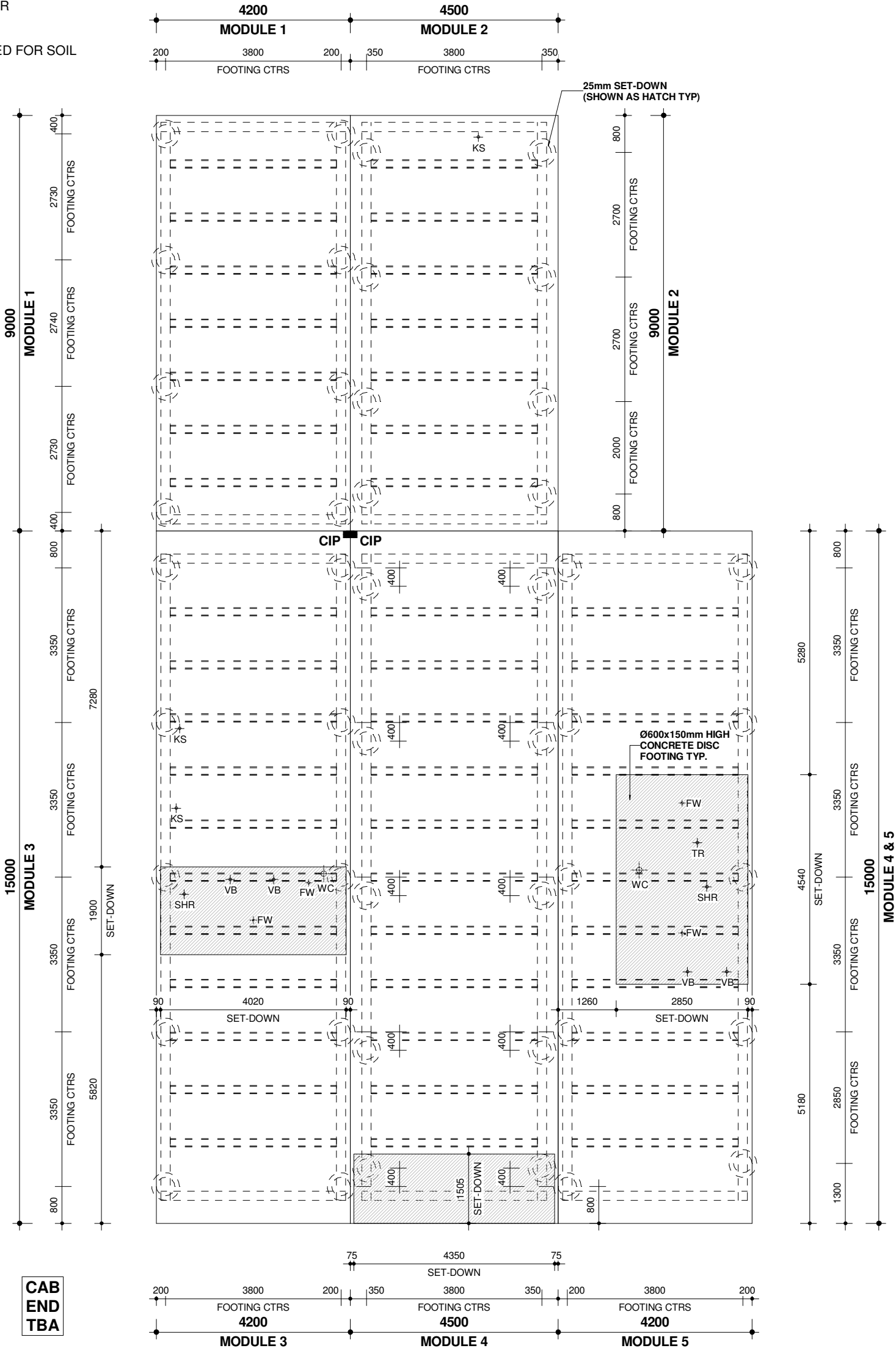
CLIENT: GREEFF	<table><tr><th>Rev</th><th>Description</th><th>Date</th></tr><tr><td>A</td><td>Preparation of PPA Plans</td><td>26/11/2021</td></tr><tr><td>B</td><td>PPA Amendments (Per Client Changes)</td><td>06/12/2021</td></tr><tr><td>C</td><td>Prepare for working drawings</td><td>11/03/2022</td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr></table>	Rev	Description	Date	A	Preparation of PPA Plans	26/11/2021	B	PPA Amendments (Per Client Changes)	06/12/2021	C	Prepare for working drawings	11/03/2022										JOB No.	21169	<div></div> <div>T: 08 64540919 F: 08 64540918 W: modularwa.com.au e: sales@modularwa.com.au Builders reg # 101630</div>
Rev		Description	Date																						
A		Preparation of PPA Plans	26/11/2021																						
B		PPA Amendments (Per Client Changes)	06/12/2021																						
C		Prepare for working drawings	11/03/2022																						
ADDRESS: LOT 5, #4631 SCOTTS BROOK ROAD MOBRUP WA 6395	DATE:	11/03/2022 11:46:35 AM																							
	DRAWN:	WI																							
	CHECKED:	BT																							
	REV:	SHEET																							
HOUSE TYPE: CUSTOM (5 MODULE)			SCALE: C	A109	Use figured dimensions in preference to scaled. All dimensions to be verified and checked on the job. © .																				
			As indicated		Copyright																				

FOUNDATION NOTES:

1. FOUNDATION SOIL TO BE CLEAN, COMPACT, NATURAL GROUND, FREE OF EXCESSIVE MOISTURE.
2. GROUND SHALL BE COMPACTED TO ACHIEVE: FOR SAND SITES, MINIMUM 6 BLOWS OVER 150-450 MM, 7 BLOWS OVER 450-750 MM, AND 9 BLOWS OVER 750-1050 MM WITH A PERTH SAND PENETROMETER (AS1289.6.3.3) FOR COHESIVE/GRAVEL SITES, MINIMUM 6 BLOWS OVER 150MM USING A DYNAMIC CONE PENETROMETER (DCP) THROUGH ALL FILL OR TO 600MM IN NATURAL GROUND.
3. PREPARE SITE SUCH THAT SURFACE RUNOFF CANNOT DRAIN OVER OR UNDER FOUNDATIONS.
4. FOOTING HAS BEEN DESIGNED FOR SOIL CLASS "S"

DO NOT SCALE FROM THIS DRAWING
ALL CONTRACTORS TO CHECK DIMENSIONS AND NOTES PRIOR TO COMMENCEMENT OF ANY WORKS AND ANY DISCREPANCIES TO BE NOTIFIED TO THE SITE SUPERVISOR WITHOUT DELAY.

PENETRATIONS		
CIP	CAST IN PLATE	150 SQ
FW	FLOOR WASTE	650
VB	VANITY BASIN	650
SK	KITCHEN SINK	650
TR	TROUGH	650
WC	WC PAN	1250
SHR	SHOWER WASTE	1250



1 CONCRETE SLAB PLAN
A110 1 : 100

CLIENT: GREEFF

ADDRESS: LOT 5, #4631 SCOTTS BROOK ROAD

MOBRUP WA 6395

HOUSE TYPE: CUSTOM (5 MODULE)

Rev	Description	Date
A	Preparation of PPA Plans	26/11/2021
B	PPA Amendments (Per Client Changes)	06/12/2021
C	Prepare for working drawings	11/03/2022

JOB No. 21169

DATE: 11/03/2022 11:46:35 AM

DRAWN: WI


CHECKED: BT

REV: SHEET

SCALE: 1 : 100

C

A110



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CONNECTION NOTES:

- ALL RHS CONNECTION TO BE MIN. 2mm THK 'U' BRACKET WITH 3-12g TEKSCREWS TO SUPPORTING MEMBER AND 2-12g TEKSCREWS ON BOTH SIDES OF THE ABUTTING MEMBER UNO.

- FIX PITCHING PLATE TO WALL FRAME VIA 2-14g TEKSCREWS TO EVERY SECOND VERTICAL WALL FRAME STUD MEMBER **OR** AT 1200mm MAX. CTRS

PURLIN NOTES:

- PURLINS TO BE SPACED AT 900mm MAX. CTRS AT EACH END OF STRUCTURE.

- INTERMEDIATE PURLINS TO BE EVENLY SPACED UP TO 1200mm MAX. CTRS

FOOTING NOTES:

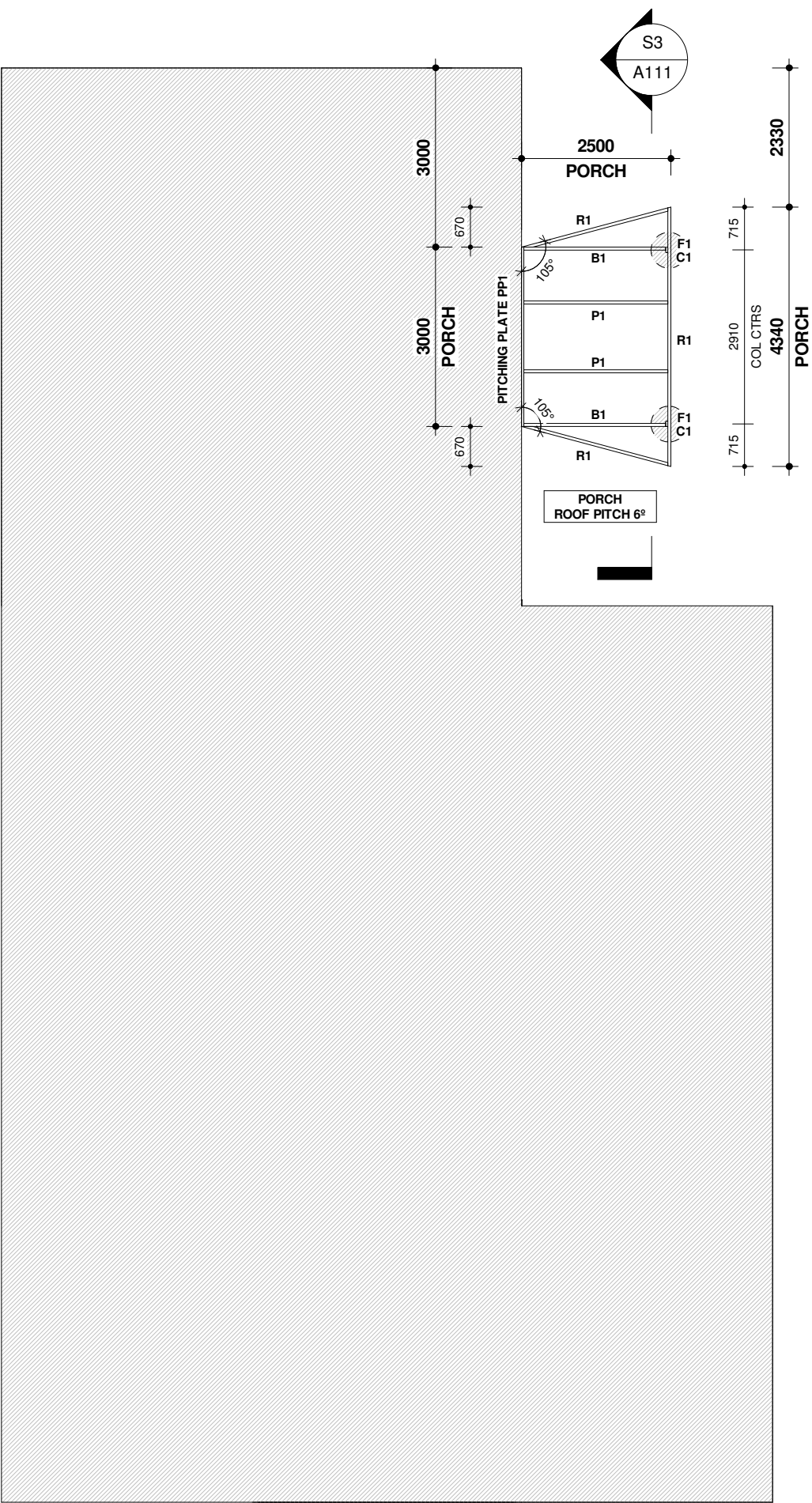
F1 - Ø600 x 450D MASS CONCRETE FOOTING

MEMBER SCHEDULE:

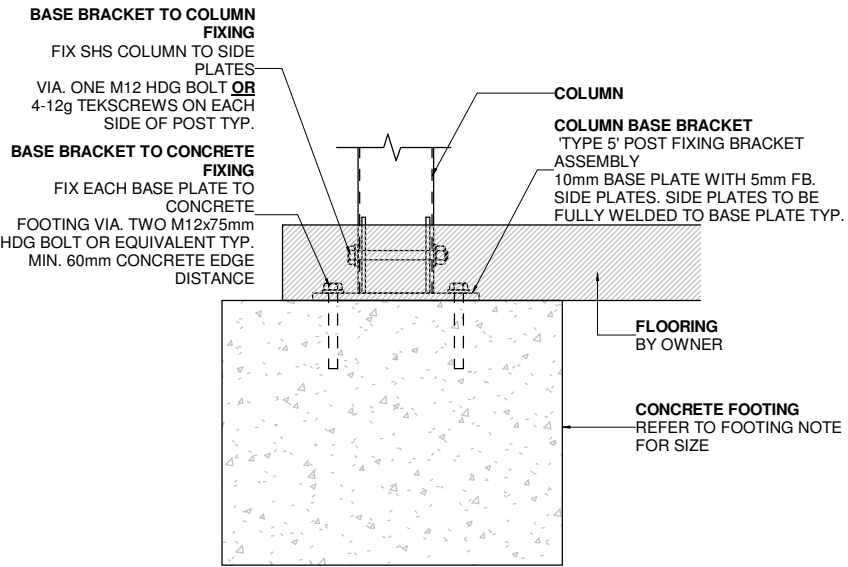
'B1' BEAM - 100x50x2.0mm ALLGAL. RHS
'C1' COLUMN - 90x90x2.0mm ALLGAL. SHS
'P1' PURLIN - 76x38x1.6mm ALLGAL. RHS
'R1' RAFTER - 100x50x2.0mm ALLGAL. RHS
'PP1' PITCHING PLATE - 110x40x1.6mm PGI 'D'PRESSING

ROOF STRUCTURE:

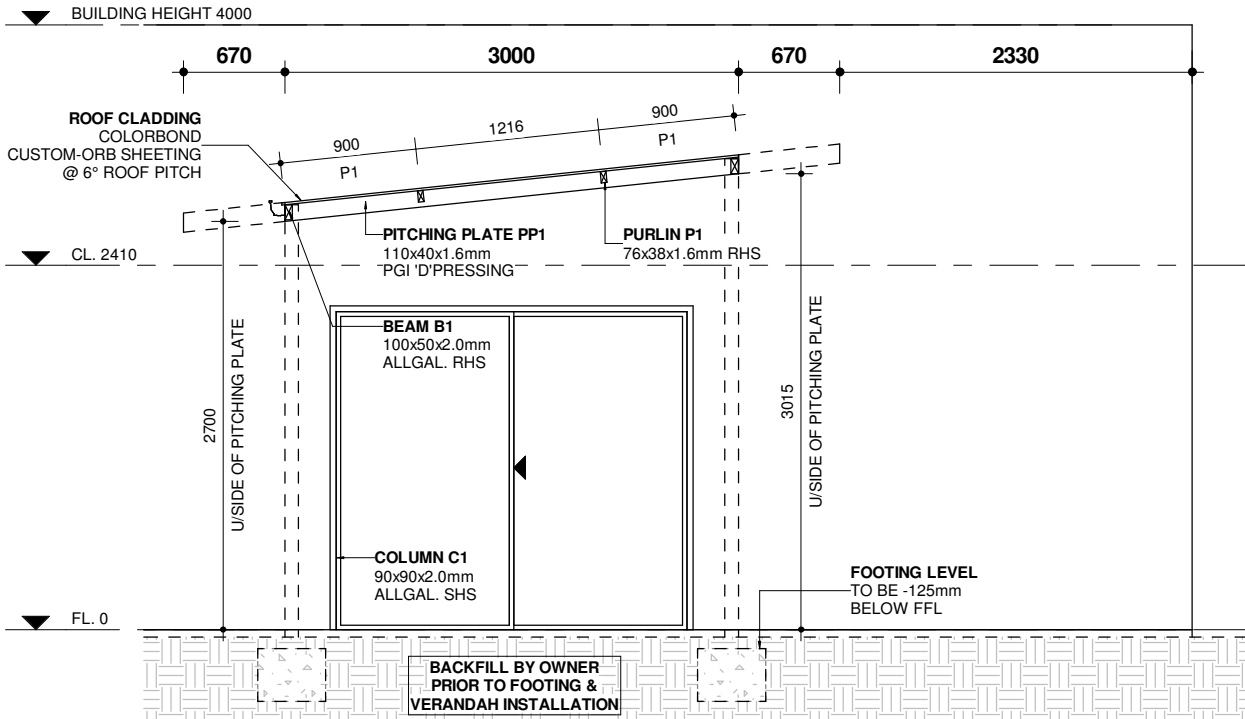
DESIGNED TO BE NON-TRAFFICABLE. UNDER NO CIRCUMSTANCES SHALL ANY ITEMS BE STORED AND OR INSTALLED ON THIS ROOF SPACE



1 SITE STRUCTURAL PLAN
A111 1 : 100



D3 COLUMN BASE FIXING DETAIL
A111 1 : 10




S3 PORCH SECTION S3
A111 1 : 50

CLIENT:	GREEFF
ADDRESS:	LOT 5, #4631 SCOTTS BROOK ROAD MOBRUP WA 6395
HOUSE TYPE:	CUSTOM (5 MODULE)

Rev	Description	Date
A	Preparation of PPA Plans	26/11/2021
B	PPA Amendments (Per Client Changes)	06/12/2021
C	Prepare for working drawings	11/03/2022

JOB No.	21169
DATE:	11/03/2022 11:46:36 AM
DRAWN:	WI
CHECKED:	BT
REV:	SHEET
SCALE:	A111
As indicated	



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GENERAL NOTES:

- DO NOT SCALE FROM THIS DRAWING. ALL CONTRACTORS TO CHECK DIMENSIONS AND NOTES PRIOR TO COMMENCEMENT OF ANY WORKS AND ANY DISCREPANCIES TO BE NOTIFIED TO THE SITE SUPERVISOR WITHOUT DELAY.
- DIMENSIONS SHOWN ON THIS PLAN ARE TO STEEL FRAME AND DOES NOT INCLUDE EXTERNAL CLADDING OR INTERNAL LINING WIDTH.
- FLOORING BY OWNER.

CLIENT NOTE:

THIS PLAN IS TO BE READ IN CONJUNCTION WITH MODULAR WA ADDENDA AND ENGINEERED CERTIFIED DRAWINGS.

CARPENTERS NOTE:

SILICONE BEAD REQUIRED AT BASE OF WALL FRAMES TO ALL TILED WET AREAS

INTERNAL OPENINGS:

DHO: FLUSHED DOOR HEIGHT OPENING 2040mm A.F.L.
FHO: FULL HEIGHT OPENING

WINDOWS

WINDOW HEAD HEIGHT TO BE 2143mm A.F.L. UNLESS NOTED OTHERWISE

ABBREVIATION LEGEND

HP	HOT PLATE
RH	RANGEHOOD
UBO	UNDERBENCH OVEN
OHG	OVERHEAD CUPBOARD
DR	DRAWER
FR/FZ REC	FRIDGE / FREEZER RECESS
DW REC	DISHWASHER RECESS
TR	TROUGH
WM REC	WASHING MACHINE RECESS
TRH	TOILET ROLL HOLDER
DTR	DOUBLE TOWEL RAIL
TRG	TOWEL RING
SR	SHOWER RAIL ROSE
CAP	CEILING ACCESS PANEL
BRM	BROOM
V	VANITY
B	BASIN
OBS	OBSCURE
TF	TIMBER FRAME
AF	ALUMINIUM FRAME
SD	SLIDING DOOR
D	DOOR
W	WINDOW
AW	AWNING WINDOW
FW	FIXED WINDOW
COL	COLUMN
H/H	HEAD HEIGHT
RWP	RAIN WATER PIPE
SV	SUB-FLOOR VENT
P	PRIVACY LATCH

WATER FEED & CAB END
LOCATION
TO BE CONFIRMED

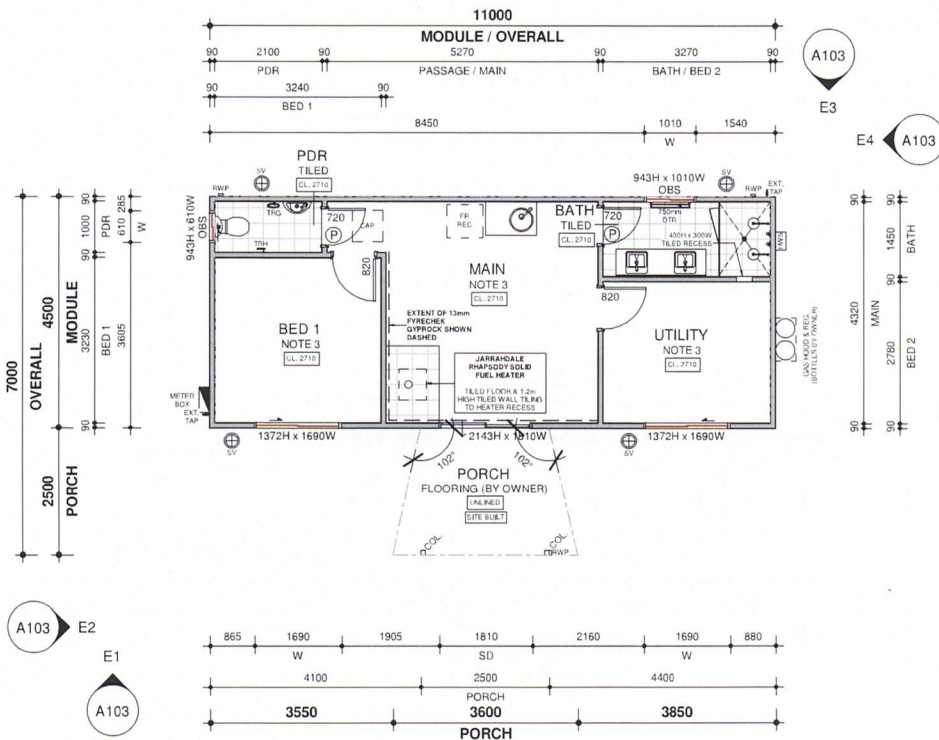
SOLAR NOTE:

NRG SOLAR OFF GRID SYSTEM BY
BUILDER c/w 5.6kW TIER 1 SOLAR
PANELS, SKW DELTA SINGLE PHASE
INVERTER & 4.8Wh DELTA LITHIUM
BATTERY - LOCATION OF PANELS,
INVERTER & BATTERY TBC BY SUPPLIER

BUSHFIRE ATTACK
LEVEL (BAL): TBA

WIND CLASSIFICATION:
REGION A

SOIL CLASSIFICATION: "TBA"



BUILDING AREA

BUILDING	49.50m ²
ALFRESCO	N/A
GARAGE / CARPORT	N/A
PORCH	7.63m ²
TOTAL	57.13m ²

ROOF AREA

ROOF (YARD BUILT)	48.19m ²
ROOF (SITE BUILT)	7.63m ²
TOTAL	55.82m ²

1 FLOOR PLAN

A102 1 : 100

CLIENT: GREEFF
ADDRESS: LOT 4631 SCOTTS BROOK ROAD
MOBRUP WA 6395
HOUSE TYPE: CUSTOM (CABIN 2)

Rev	Description	Date
A	Preparation of PPA Plans	04.12.2021
B	Porch Amendment & Amend Location on Lot	09.12.2021

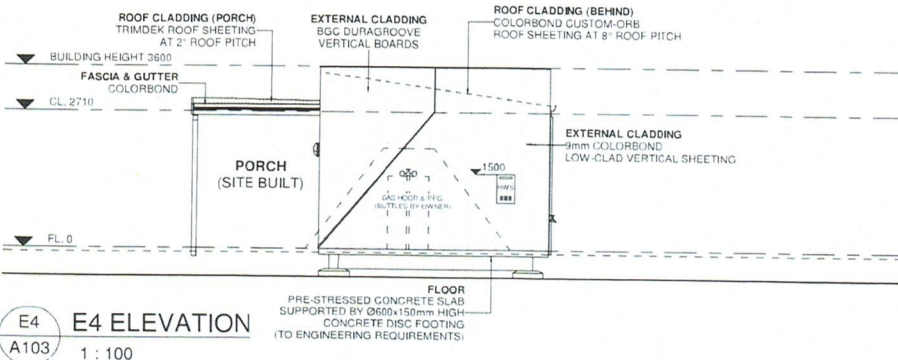
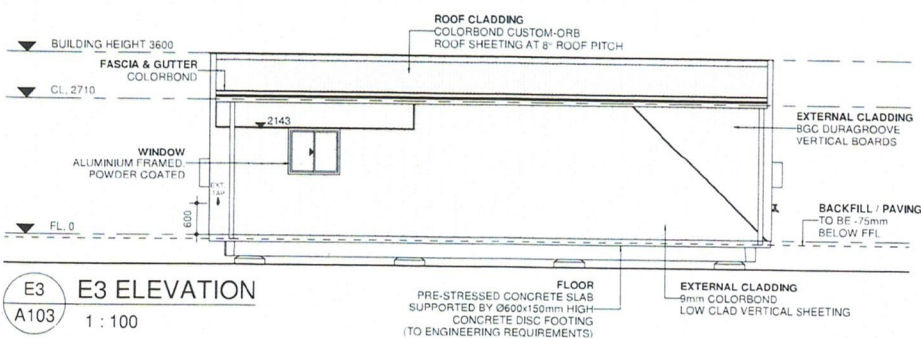
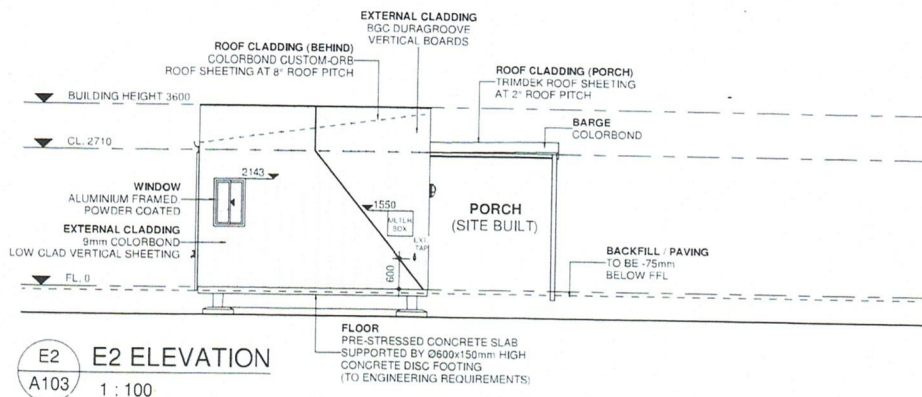
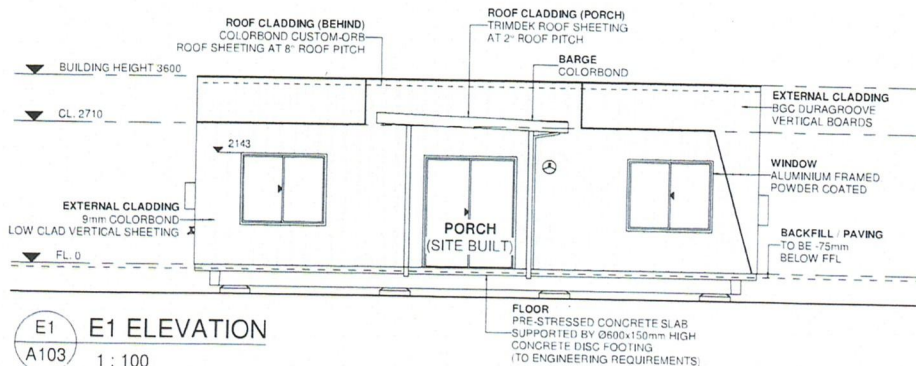
JOB No.	21171
DATE:	10/12/2021 2:16:55 PM
DRAWN:	SS
CHECKED:	BT
REV:	SHEET
SCALE:	B
	A102
	1 : 100

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BACKFILL BY OWNER



CLIENT: GREEFF

ADDRESS: LOT 4631 SCOTTS BROOK ROAD
MOBRUP WA 6395

HOUSE TYPE: CUSTOM (CABIN 2)

Rev	Description	Date
A	Preparation of PPA Plans	04.12.2021
B	Porch Amendment & Amend Location on Lot	09.12.2021

JOB No. 21171

DATE: 10.12.2021 2:16:56 PM

DRAWN: SS

CHECKED: BT

REV: SHEET

SCALE: B

1 : 100

A103



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67. Consideration of application by local government

- (1) Development approval cannot be granted on an application for approval of —
 - (a) development that is a class X use in relation to the zone in which the development is located, unless —
 - (i) the development relates to land that is being used for a non-conforming use; and
 - (ii) the local government considers that the proposed use of the land would be less detrimental than the non-conforming use;
 - or
 - (b) development that otherwise does not comply with a requirement of this Scheme, unless —
 - (i) this Scheme gives the local government discretion to waive or vary the requirement or to grant development approval despite non-compliance with the requirement; or
 - (ii) the development is permitted under a provision of this Scheme in relation to non-conforming uses.
- (2) In considering an application for development approval (other than an application on which approval cannot be granted under subclause (1)), the local government is to have due regard to the following matters to the extent that, in the opinion of the local government, those matters are relevant to the development the subject of the application —
 - (a) the aims and provisions of this Scheme and any other local planning scheme operating within the Scheme area;
 - (b) the requirements of orderly and proper planning including any proposed local planning scheme or amendment to this Scheme that has been advertised under the *Planning and Development (Local Planning Schemes) Regulations 2015* or any other proposed planning instrument that the local government is seriously considering adopting or approving;
 - (c) any approved State planning policy;
 - (d) any environmental protection policy approved under the *Environmental Protection Act 1986* section 31(d);
 - (e) any policy of the Commission;
 - (f) any policy of the State;
 - (fa) any local planning strategy for this Scheme endorsed by the Commission;
 - (g) any local planning policy for the Scheme area;
 - (h) any structure plan or local development plan that relates to the development;
 - (i) any report of the review of the local planning scheme that has been published under the *Planning and Development (Local Planning Schemes) Regulations 2015*;
 - (j) in the case of land reserved under this Scheme, the objectives for the reserve and the additional and permitted uses identified in this Scheme for the reserve;
 - (k) the built heritage conservation of any place that is of cultural significance;
 - (l) the effect of the proposal on the cultural heritage significance of the area in which the development is located;
 - (m) the compatibility of the development with its setting, including —
 - (i) the compatibility of the development with the desired future character of its setting; and

- (ii) the relationship of the development to development on adjoining land or on other land in the locality including, but not limited to, the likely effect of the height, bulk, scale, orientation and appearance of the development;
 - (n) the amenity of the locality including the following —
 - (i) environmental impacts of the development;
 - (ii) the character of the locality;
 - (iii) social impacts of the development;
 - (o) the likely effect of the development on the natural environment or water resources and any means that are proposed to protect or to mitigate impacts on the natural environment or the water resource;
 - (p) whether adequate provision has been made for the landscaping of the land to which the application relates and whether any trees or other vegetation on the land should be preserved;
 - (q) the suitability of the land for the development taking into account the possible risk of flooding, tidal inundation, subsidence, landslip, bush fire, soil erosion, land degradation or any other risk;
 - (r) the suitability of the land for the development taking into account the possible risk to human health or safety;
 - (s) the adequacy of —
 - (i) the proposed means of access to and egress from the site; and
 - (ii) arrangements for the loading, unloading, manoeuvring and parking of vehicles;
 - (t) the amount of traffic likely to be generated by the development, particularly in relation to the capacity of the road system in the locality and the probable effect on traffic flow and safety;
 - (u) the availability and adequacy for the development of the following —
 - (i) public transport services;
 - (ii) public utility services;
 - (iii) storage, management and collection of waste;
 - (iv) access for pedestrians and cyclists (including end of trip storage, toilet and shower facilities);
 - (v) access by older people and people with disability;
 - (v) the potential loss of any community service or benefit resulting from the development other than potential loss that may result from economic competition between new and existing businesses;
 - (w) the history of the site where the development is to be located;
 - (x) the impact of the development on the community as a whole notwithstanding the impact of the development on particular individuals;
 - (y) any submissions received on the application;
 - (za) the comments or submissions received from any authority consulted under clause 66;
 - (zb) any other planning consideration the local government considers appropriate.
- (3) Subclause (1) has effect despite the zoning table for this Scheme.

[Clause 67 amended: SL 2020/252 r. 74.]

Dear Grant and whom may concern,

I'm writing this letter opposing the development application for on Lot 4631 Scott's Brook Road, Mobrup. I have great number of concerns about these developments. The potential of it affecting our business. Also, the risk that our business, persons and community may be exposed to. The purpose of these developments and what they will be used for has been unclear and how/ if they will be managed.

The proposed development is within 400m from our mixed enterprise farming business, which has been operating in this location since early 1980's. These developments will be exposed many different factors involved in agricultural production including noise, lights, odours, dust and insects throughout any given day or night.

Examples,

- Chemical odour, exposure
- Livestock odour and noise,
- Machinery and vehicle operation 24hrs.
 - Noise
 - Lights
 - High traffic loads
- Dust from grain, fertiliser, soil etc
- Smoke
- Pest control and deterrent devices (loud noise)
- Professional Roo shooters.
- Beehives
- Chainsaw, motorbike and other noises
- Contractor vehicle, machinery etc
- Drone, Plane or helicopter activity, noises.

Mobrup is a small isolated community. I'm also concerned with the lack of awareness and knowledge of these development could expose our personnel, business and community. The high risk to fire and the damage that could be cause from lack of planning, knowledge and active management.

Use of developments have us also largely concerned as it could increase risk to farm security, biosecurity, animal welfare, damage and theft. Also, activities which may occur such as hunting or firearm use could expose risk to livestock and personnel with our property highly exposed.

Also noting, I am displeasing and frustrated this matter was almost not brought to our attention with the incorrect postal address used. On such important issue and with the resources available this is not acceptable. The postal address used was "Lot 1 Furniss Loop, Muradup 6395". Highly incorrect and could be viewed as deliberate/ deceitful.

Regards,

Raelene Parker (Farm Manager)

Raelene P

Estelle Lottering

From: Robert Greeff <robert@metsurveyors.com.au>
Sent: Tuesday, 7 June 2022 3:38 PM
To: Estelle Lottering
Cc: Robert Jehu
Subject: RE: Scottsbrook Application

Hi Rob/Estelle

Thanks for all the work you have done.

My comments that will follow is based on the letter received from one of the landowners.

1: The development as mentioned in the letter is for our resident on the farm and 3 cabins. This will be managed by our self, and no one will be allowed on the property without one of our family members present.

As mentioned, weekend and short stay no permanent rentals.

2: This is a farming unit and as send previously will be mainly managed as a deer farm, sheep, grasses and clover will be planted and managed like all other farmers do. Due to fire risk the house and cabins must be build outside the fire area and we don't want to do any clearing of the natural bush

3: We have removed all the blue gum trees that would have been a high risk of fire for all the neighbours, not sure how this has now become a risk!

4: All visitors will be under our supervision. The farm has been fenced with a 2m high interlock specification. Criminal activity will be noticed now with more eyes on the ground.

I hope this is in order as all other concerns from the neighbour is not applicable to this application.

Regards

Robert Greeff

Professional Surveyor

Mob: 044 88 99 741



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From: Estelle Lottering <rsadmin@kojonup.wa.gov.au>
Sent: Tuesday, 7 June 2022 11:27 AM

To: Robert Greeff <robert@metsurveyors.com.au>

Cc: Robert Jehu <mrs@kojonup.wa.gov.au>

Subject: Re: Scottsbrook Application

Good morning, Robert

Please find attached a copy of the letter send out to all your neighbours, and the feedback we got from them. There was one objection which I would like to give you the opportunity to send me a written response back.

As per our conversation, I will not be in the office this week. If you could please send all correspondence to Robert Jehu (and cc myself)

Thank you

Regards

Este Lottering

Administration Officer – Regulatory & Technical Services
SHIRE OF KOJONUP

93 Albany Highway Kojonup WA 6395 | PO Box 163 Kojonup WA 6395
Tel: 9831 2400 | Direct: 9831 2440 | Fax: 9831 1566

www.kojonup.wa.gov.au



FOR RECIPIENTS EXTERNAL TO THE SHIRE OF KOJONUP

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TOWN PLANNING SCHEME POLICY No. 2

TOURIST ACCOMMODATION IN RURAL ZONED AREAS

Adopted or Reviewed by Council:	<i>Policy adopted</i>	Council Reference:	
Reviewer:	Chief Executive Officer & Town Planner		
Local Law:	n/a		
Procedure:	n/a		
Delegation:	Chief Executive Officer		

Objective

- To allow the development of tourist accommodation and activities/facilities within rural areas of the Shire where the activity is considered complimentary and incidental to the main agricultural activities undertaken on the farm.
- To ensure the quality of accommodation is of a high and consistent standard.
- To refuse any application that would in Council's opinion have an adverse impact on the existing rural amenity of an area and/or the continued use of an area for agriculture and rural pursuits.

Policy

The Council shall use the following table when assessing proposals for use and development of tourist accommodation and activities/facilities within the rural zoned areas of the Shire:

Land Use/Development	TPS 3 Permissibility	Planning Controls/Conditions
<i>Bed and Breakfast Accommodation</i> means short stay residential accommodation offering overnight lodgings, with or without breakfast, in a domestic environment	AA in Rural zone AA means that the Council may at its discretion permit the use.	<ol style="list-style-type: none">1) The accommodation service can include either sharing of the main family residence or use of a separate existing residence.2) All premises (including the water supply and effluent disposal system) shall be inspected by the Shire's Environmental Health Officer and Building Surveyor prior to any accommodation commencing. Routine inspections may occur to ensure compliance with relevant standards.3) The maximum number of tourists that can be accommodated shall not exceed 6 persons.
<i>Camping Area</i> means land set aside for the erection of tents and other similar structures for temporary accommodation	SA in Rural zone SA means that the Council may at its discretion permit the use after notice of the application has been given and any submissions received are considered by Council.	<ol style="list-style-type: none">1) These controls do not apply to temporary camping areas approved by the Council for event accommodation etc.2) The development of any permanent camping area shall require the proponent to prepare a Development Plan of the site to be approved by Council.3) All development shall be generally in accordance with the approved Development Plan.4) All premises (including the water supply and effluent disposal system) shall be inspected by the Shire's Environmental Health Officer prior to any accommodation commencing. Routine inspections may occur to ensure compliance with relevant standards.

Land Use/Development	TPS 3 Permissibility	Planning Controls/Conditions
		<p>5) If in Council's opinion a proposal for a permanent camping area is of a size that is likely to have an impact on the surrounding area or existing facilities and services such as roads, water supply, fire control etc., the proponent will be required to submit an application for a scheme amendment to create a Special Use zone over the area. Where a scheme amendment is required by Council, the development may not proceed until the amendment has been approved.</p>
<p><i>Holiday Accommodation</i> means accommodation comprising two or more cabins, apartments, chalets, cottages, or flats which, by way of trade or business, or for the purpose of any trade or business is held out as being available or is made available for holiday purposes for occupation by persons other than the proprietor.</p>	<p>AA in Rural zone</p> <p>AA means that the Council may at its discretion permit the use.</p>	<p>1) The development of any holiday accommodation units shall require the proponent to prepare a Development Plan of the site to be approved by Council.</p> <p>2) All development shall be generally in accordance with the approved Development Plan.</p> <p>3) All premises shall be inspected by the Shire's Environmental Health Officer and Building Surveyor prior to any accommodation commencing. Routine inspections may occur to ensure compliance with relevant standards.</p> <p>4) An adequate potable water supply and on-site effluent disposal system to the units shall be provided.</p> <p>5) For the purpose of the Policy, a holiday accommodation unit is expected to have a maximum of 3 bedrooms and accommodate a maximum of 8 tourists.</p> <p>6) The maximum number of holiday accommodation units permitted is 4 or the maximum number of tourists that can be accommodated is 32, whichever is the greater.</p> <p>7) For development of more than 4 holiday accommodation units on a rural zoned property or if in Council's opinion a particular proposal for tourist accommodation units is likely to have an impact on the surrounding area or existing facilities and services such as roads, water supply, fire control etc., the proponent will be required to submit an application for a Special Use zone over the area. Where a scheme amendment is required by Council, the development of the additional units may not proceed until the amendment has been approved.</p>
<p><i>Lodging House</i> shall have the same meaning as is given to it</p>	<p>SA in Rural zone</p> <p>SA means that the</p>	<p>1) The accommodation service can include either sharing of the main family residence or use of a separate residence and must be</p>

Land Use/Development	TPS 3 Permissibility	Planning Controls/Conditions
<p>in and for the purposes of the Health Act, 1911 (as amended).</p> <p>Under the <i>Health Act 1911</i>, a ‘lodging house’ is any building or structure or part of the building or structure, permanent or otherwise, in which provision is made for lodging or boarding more than six people, exclusive of the family of the keeper of the lodging house, for hire or reward. The term does not include:</p> <ul style="list-style-type: none"> • Premises licensed under a publican’s general licence, limited hotel licence, or wayside-house licence, granted under the <i>Licensing Act 1911</i>. • Residential accommodation for students in a nongovernment school within the meaning of the <i>School Education Act 1999</i>. • Any building comprising residential flats, 	<p>Council may at its discretion permit the use after notice of the application has been given and any submissions received are considered by Council.</p>	<p>able to accommodate more than 6 tourists.</p> <p>2) All premises (including the water supply and effluent disposal system) shall be inspected by the Shire’s Environmental Health Officer and Building Surveyor prior to any accommodation commencing and are required to be approved and registered with the Council under the Health Local Law. Routine inspections may occur to ensure compliance with relevant standards.</p>

The development of a caravan park is only permitted within a Special Use zone under TPS3. Any applications to develop a caravan park will be presented to Council for consideration.

In assessing a proposal, Council will require a proponent to address the impacts of the development of the proposed tourist accommodation and activities/facilities on existing rural pursuits and the surrounding area and services including roads and fire management requirements.

The Council may as a condition of planning consent limit the period of approval for any particular tourist accommodation and activities/facilities to be undertaken.

The Council may as a condition of planning consent, determine the location, distribution and number of tourist accommodation units/sites to be developed and require operators of approved activities to provide guests with information advising them of their responsibilities and the existence of rural activities in the locality that may affect their stay from time to time.